

NOTICE FOR PUBLIC HEARING

A public hearing as required by the General Code of Ordinances for Marathon County Chapter 17 Zoning Code will be held by the **Marathon County Board of Adjustment** at **9:00 a.m., April 23rd, 2026**, at the Lake View Conference Center - 1000 Lake View Drive, Wausau WI 54403 – Wisconsin Room.

Persons wishing to attend the meeting by phone may call into the telephone conference beginning fifteen (15) minutes prior to the start time indicated above using the following number:

Phone Number: 1-408-418-9388

Access Code/Meeting Number: 2482 290 3069

PLEASE NOTE: If you are prompted to provide an “Attendee Identification Number” enter the # sign. No other number is required to participate in the telephone conference.

When you enter the telephone conference, **PLEASE PUT YOUR PHONE ON MUTE!**

1. Approval of the February 26, 2026, minutes.
2. *The application of Glenn Zimmerman, for a conditional use permit per 17.204.54 “Nonmetallic Mining” of the General Code of Ordinances for Marathon County Chapter 17 Zoning Code, for the purpose of establishing a 48 acre nonmetallic mining operation (quarry) on properties currently owned by Glenn & Alta Zimmerman. The properties are located in the G-A General Agricultural district, on parcels described as N $\frac{1}{4}$, NE $\frac{1}{4}$, and NW $\frac{1}{4}$, NE $\frac{1}{4}$ Section 21, T29N, R2E Town of Holton, further described as PIN# 042.2902.211.0999 and 042.2902.211.0998 with site address 104155 Fence Road, Abbotsford, WI 54405.
3. The application of Aaron Guldan for a conditional use permit per section 17.401.01 of the General Code of Ordinance for Marathon County Chapter 17 Zoning code for the purposes of constructing an accessory structure prior to a principal structure in the R-R (Rural Residential) zoning district. The property is located in NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 33, Township 26 North, Range 3 East, Town of McMillan, further described as PIN #056.2603.331.0968. Property Address: 201432 Galvin Ave, Marshfield, WI 54449.
4. The application of American Asphalt of WI on behalf of Mathy Construction Company (Milestone Materials) for a conditional use permit per section 17.204.61 of the General Code of Ordinances for Marathon County Chapter 17 Zoning code for the purposes of operating a concrete and/or blacktop mix plant, processing, stockpiling, and recycling of road building materials in the G-A (General Agriculture) zoning district. The property is located in the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ and the Southwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 29, Township 27 North, Range 9 East, Town of Reid, further described as PIN# 064.2709.294.0990. Property Address: 211155 Budnik Rd, Hatley, WI 54440.
5. The application of American Asphalt of WI on behalf of Mathy Construction Company (Milestone Materials) for a conditional use permit per section 17.204.61 of the General Code of Ordinances for Marathon County Chapter 17 Zoning code for the purposes of operating a concrete and/or blacktop mix plant, processing, stockpiling, and recycling of road building materials in the F-P (Farmland Preservation) zoning district. The property is located in the Northeast $\frac{1}{4}$ of the Northwest Fractional $\frac{1}{4}$ of Section 3, Township 27 North, Range 3 East, Town of Eau Pleine, further described as PIN# 020.2703.032.0999. Property Address: 114445 County Road P, Stratford, WI 54484
6. The petition of Scott Miller for a variance to the terms of Section 17.202.03F minimum road frontage of the General Code of Ordinances for Marathon County Chapter 17 Zoning Code for the purposes of


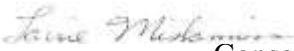
completing a farm consolidation in the (G-A) General Agricultural district. The property is located in the Southeast ¼ of the Northeast ¼ of Section 31, Township 26 North, Range 8 East, Town of Guenther, further described ad PIN#032-2608-311-0994. Property Address 201512 Glen Road, Mosinee, WI 54455.

*For agenda item #1, an opportunity will also be provided to give testimony on reclamation related matters as required by Chapter 21, Nonmetallic Mining Reclamation Code. Plans and specifications may be viewed at the Conservation Planning and Zoning Department, 1100 Lake View Drive, Suite 400, Wausau, WI 54403 during regular business hours. Please call 715-261-6000 with questions about the project or to make an appointment to view or discuss the reclamation plans.

7. Announcements and Requests
8. Adjourn

All interested persons will be provided the opportunity to provide testimony at the public hearing. Those planning to attend this meeting who need some type of special accommodation in order to participate should call the County Clerk's Office at 715-261-1500. Please call at least one business day in advance of the meeting.

In the event you are unable to attend the public hearing and wish to provide written testimony, please contact the Conservation, Planning and Zoning Department at 715-261-6000 for assistance.

 Pat Schreiner, Chairman Board of Adjustment
 Laurie Miskimins, Director
Conservation Planning and Zoning Department

Publish: April 6th & April 13th, 2026
E-mailed to Wausau Daily Herald on April 1st, 2026, at 9:15 a.m. / nd

APPLICATION FOR CONDITIONAL USE PERMIT

MARATHON COUNTY BOARD OF ADJUSTMENT

The applicant hereby requests the Board of Adjustment to hear and decide upon this application as prescribed by Section 17.803 of the Marathon County Zoning Ordinance. Use a separate sheet if necessary.

Name of Applicant: Zimmerman Construction - Excavating

Mailing Address: N12737 Reesewood Avenue, Greenwood, WI 54437

Telephone: (715) 229-4782 Fax: _____

Cellphone: _____ Email: _____

Owner Name: (if different) Glenn Zimmerman

Mailing Address: Same as Applicant

Telephone: _____ Fax: _____

PARCEL INFORMATION

Parcel ID # (PIN): 042-2902-211-0999 & 042-2902-211-0998
(If more than one parcel is included in this application, list all parcel numbers & legal descriptions on a separate sheet.)

Legal Description: Government Lot _____ or _____ ¼ _____ NE _____ ¼
Section 21, T 29 N, R 2 E, Town of Hollon
Lot _____ Block _____ Subdivision _____

Property Address: Fence Road

Parcel size: 80 ac. - 48 ac. total Acres or _____ Sq. Ft.

Zoning District: _____ impact G-A. (General Agriculture)

Present use of property (List all current uses, i.e. home, store, farm field, wooded, etc.):
Land is currently a farm field.

Existing improvements (Structures, well, septic, etc.):
No improvements are present

PROPOSAL

Describe specifically the nature of this request (be sure to list all proposed uses of the parcel). What do you plan to do?
A Quarry is proposed, to be completed in 4 Phases.
of a backhoe, dozer and dump trucks.

If this application is for a use that will be restricted to part of the parcel, specify the exact dimensions of the affected area.
Please see attached project maps for the Pit perimeter. Attachment 1 of reclamation plan

Provide the following information if this box is checked

Proposal has additional development standards in Section 17.204.54. Explain how your proposal meets or exceeds these requirements.

Use separate/additional sheet(s) if necessary

INSTRUCTIONS TO APPLICANT

1. Be sure to complete **all items** on the application. This includes a **brief, but complete explanation** of the current use and proposed new use.
2. Prepare a **map at a scale which is reproducible** (11" x 17" or smaller). For maps larger than 11" x 17", be prepared to provide as many copies as needed for transmittal. In no instance may the scale of the map be less than 1 inch equals 200 feet. There are instances where a cross-section of the property or contours will be helpful, and in some cases one or both may be required. Narrative or photos may be included as supporting documentation.

At a minimum the map must include:

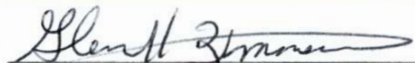
- The location, dimensions, and parcel identification number of the lot or lots including a legal description.
 - Location of any and all nearby public and private streets.
 - Dimensions of the lot and the location of all existing and proposed buildings or structures, and location of existing or proposed private onsite wastewater treatment (septic) system.
 - Required front, rear, and side yard areas, open space, and parking.
 - On residential parcels, the number of dwelling units contained within each building and proposed number of bedrooms.
 - Location and dimensions of all buildings or structures to be erected, structurally altered, or moved.
 - Wetlands and floodplains
 - Screening/Buffers
 - Lighting
 - Parking
3. **Include the \$600 fee** when you submit the application. Please make checks payable to Marathon County.

We cannot consider an application complete until the following are submitted to this office:

<i>Check if submitted</i>	<i>Initial of staff</i>	
<input checked="" type="checkbox"/>	<u>TF</u>	Completed application including signatures.
<input checked="" type="checkbox"/>	<u>TF</u>	Map with all required information.
<input checked="" type="checkbox"/>	<u>TF</u>	Additional documents, as needed (lot combination forms, hunting/fishing shelter application, etc.)
<input checked="" type="checkbox"/>	<u>TF</u>	Zoning Permit application
<input checked="" type="checkbox"/>	<u>TF</u>	Fee

Please contact the Marathon County Conservation, Planning and Zoning Department with any questions: 715-261-6000.

IMPORTANT: The applicant or authorized representative **must be present at the hearing** or Board **may deny** the application without prejudice.



 Owner Signature (required)

1-15-26

 Date

 Agent / Person responsible for work Signature (required)

 Date

Conditional Use Permits expire six (6) months from the latest date of signature on the approval letter signed by Chairman and the Secretary of the Board of Adjustment if the proposed construction or preparation of land for use has not commenced. The Zoning Administrator may grant an extension for up to six (6) months upon show of valid cause.

Return to: Board of Adjustment
 Marathon County CPZ Department
 210 River Drive
 Wausau, WI 54403-5449

Telephone: 715-261-6000
 Toll free within Marathon County: 1-800-236-0153
 Facsimile: 715-261-6016

For office use

For office use

For office use

Amount Received: \$ \$665.00 1/22/2026 Date Stamp:

O:\CPZ\Ordinances\FORMS\ConditionalUsePermitApplication.docx

Received 1/22/2026



Parcel ID #(s):

042-2902-211-0999 and

042-2902-211-0998

Permit #:

(DEPARTMENT USE ONLY)

APPLICATION FOR A NONMETALLIC MINING RECLAMATION PERMIT

1. Zimmerman Construction - Excavating
(Name of Applicant)

N12737 Reesewood Avenue
(Street Address)

Greenwood, WI 54437
(City, State, Zip)

(715) 229-4782
(Telephone Number)

2. _____
(Name of Owner)

Glenn Zimmerman
(Street Address)

Greenwood, WI 54437
(City, State, Zip)

(715) 229-4782 (715) 229-4782
(Telephone Number)

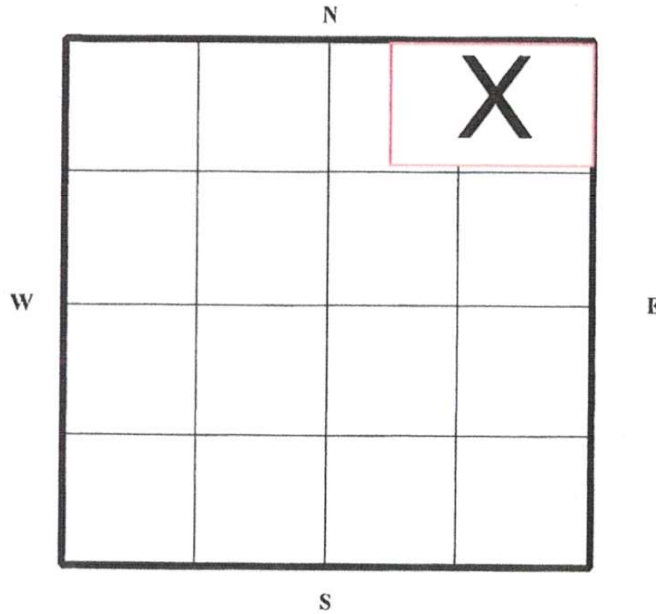
3.

Legal description of the site: NE1/4, Sec. 21, T29N, R2E, Town of Holton

4. Total area to be affected by this project. Include areas for stockpiling, processing, conservation practices, and any roads to be reclaimed:

48 sq. ft. / acres (circle one)

5. General Location Map - (Draw the location of the site on the Section Map below. Include roads and any other pertinent information).



1 of 5

6. Description of the **type of material(s) extracted** the areal extent and depth of the geologic deposit, the methods of extraction and processing methods to be used in the permit area.

Extraction of hard rock is proposed. Test pits indicate the presence of this material approximately 2 feet below grade. Blasting and crushing is proposed

7. **Water Quality**

Ground Water: Observed or estimated (circle one) elevation of groundwater: 1350 based on nearby river .

Reference depth to a permanent on-site reference point (benchmark). Provide a narrative describing the how reclamation of the site will insure that the reclaimed site does not cause any of the following: A permanent lowering of the water table that would result in an adverse impact on surface waters. A significant reduction in the groundwater reasonably available to future users of groundwater. A change in groundwater quality that exceeds the standards of NR140 at the point of standards application.

No adverse effects are expected. Pumped water will discharge to the adjacent upland within the same watershed. Water is not proposed to be pumped out of the watershed

Surface Water

Describe how reclamation will be completed in a manner that assures compliance with DNR water quality standards for surface waters and wetlands as outlined in NR 102 to NR 105.

All mining activities will maintain a 500 foot setback from the river. Wetlands were delineated by Star Environmental.

No impacts to wetlands are proposed.

8. Information available to the operator on the **biological resources, plant communities, and wildlife** use at and adjacent to the site.

Area to the north, east and south consist of agricultural land. Area to the west consists of woodland and the West Branch of the Eau Pleine River

9. **Estimated timetable** for beginning and ending of operations on the site including any phases or stages:

Mining will begin in Spring of 2026 and is expected to last for 25 years.

10. Describe the **methods of salvaging and storing topsoil** and other overburden that will be used in reclamation. Include information on conservation practices to protect the material from erosion. If topsoil substitute or off site material is to be used in reclamation, list the source and time table for acquiring it.

Topsoil will be stripped and used to create vegetated earth berms around the site. Berms will remain in place as part of reclamation to be used as a perimeter boundary around the resulting pond

11. Describe proposed earthwork necessary for site reclamation including final slope angles, high wall reduction, benching, terracing, and other slope stabilization measures.

The berms will be left in place. Sidewalls of the Quarry will consist of a series of 10 foot wide safety ledges and vertical drop to the Quarry bottom. A fence with "caution" signs every 100 feet will surround the Quarry.

12. Describe how the long term safety of the reclaimed mining site will be addressed. Include any site specific measures that will be necessary to address public safety with regard to adjacent land uses.

A 4'4-wire fence will be installed around the pit perimeter. Within the fence, there will be the vegetated earth berm as a barrier followed by a series of safety ledges.

The haul road will also be left in place

13. Describe any conservation practices to be used during reclamation. The location of all conservation practices are to be shown on the reclamation plan. Include information on any steps that will be taken before disturbing topsoil on the site to divert runoff from surrounding lands from the mining site and measures that will be taken to prevent runoff from the reclaimed site from adversely impacting surface waters.

After reclamation is complete, the site will be internally drained. No water will exit or enter the resulting pond other than direct precipitation and groundwater.

14. Description of anticipated topography, water impoundments, artificial lakes, created wetlands and other site features.

The only feature proposed is the resulting pond to be used for wildlife and recreational purposes

15. Description of the proposed post mine land use.

The proposed pond will be used for wildlife and recreational purposes.

16. Description of plans for disposition of manmade features that are not part of the post mine land use after completion of mining.

The only manmade features to remain is the fence, berms, haul road and resulting pond. No other manmade features are proposed

17. Describe or attach a **copy of a seeding plan** which shall include methods of seed bed preparation, seed mix seeding rates, mulching, netting, and/or other techniques needed to accomplish soil and slope stabilization.

Please see the attached reclamation plan

18. Description of the **quantifiable standard** that will be used to determine successful establishment of vegetation on reclaimed areas.

Surrounding berms and any disturbed area above water/safety ledges will have a minimum 70 percent vegetative cover

19. In addition, the following drawings or documents must be attached to this application. All maps must be drawn at a scale of no less than one (1) inch equals two hundred (200) feet:

- A. A copy of the lease or proof of ownership.
- B. Copies of local and state permits or approvals including a statement from the local zoning or planning authority that the proposed post mine land use is consistent with the current zoning or land use plan unless a change to the zoning or the plan is proposed.
- C. An estimate of the cost of site reclamation and the methodology used to calculate the estimate.
- D. Four copies of a map(s) of the site as it presently exists. The map(s) shall include:
 - 1) Property boundaries and the location of all man made features on or within 300 feet of the site and, to the best of the applicant's knowledge, the purpose for which each man made feature and the adjoining land is used.
 - 2) Contours of the affected land at intervals no larger than ten (10) feet.
 - 3) The location and names of all streams, other water features and the existing drainage patterns on or within three hundred (300) feet of the site.
 - 4) Boundaries of previous excavations on the site, and the location and description of boundary stakes for the proposed site. The stakes shall be referenced to a permanent reference point. The area staked shall include all stockpiling and storage areas.
 - 5) The areal extent of the mineral deposits which will be mined on the site.
 - 6) Distribution, thickness and type of topsoil. (A copy the NRCS Soil Survey map of the area can be used to provide this information)
- E. If the site is to be mined in phases or stages, four copies of a plan which shall include the following:
 - 1) A plan view and description of sequential phases of mining including haulage ways, storage areas and processing areas.
 - 2) If necessary, a plan showing temporary erosion control measures to be employed during reclamation.
- F. One paper and one digital copy of a reclaimed site plan which shall include the following:
 - 1) A plan view showing final slope angles, high wall reduction, benching, terracing, other stabilization measures and water impoundments at contour intervals of no larger than ten (10) feet.
 - 2) Cross-sectional drawings of any water impoundments, high wall reductions, benching or terracing, or other conservation practices.
 - 3) The erosion control measures to be employed during reclamation.

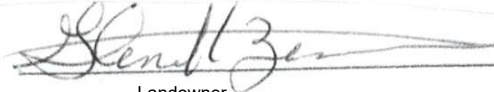
Fee enclosed \$ 3,165.00

See the current Non-Metallic Mining fee schedule or contact the Conservation, Planning, and Zoning Department

To the best of my knowledge, I certify that the information provided on this application and accompanying documents are true and accurate.

I certify that the areas identified within the permit that are impacted by mining activities will be reclaimed as specified in the approved permit for the site.

I understand that submitting this application authorizes the department administrator or his/her designee to enter onto the property for the purposes outlined in the Nonmetallic Mining Reclamation Ordinance.



Landowner

Contractor

1/15/2024
Date

Land Owner Certification if land owner is different than applicant:

I certify that I concur with the reclamation plan authorized by this permit and will allow it to be implemented.

Same

Land Owner's Signature

1/15/2024
Date

Pursuant to §21.301.03(b) of the Nonmetallic Mining Reclamation Ordinance, the Department may require the submittal of such other information as may be necessary to determine the feasibility of the nonmetallic mining reclamation.

Permit decisions shall be made by the Department no sooner than thirty (30) days nor later than sixty (60) days of receipt of a complete application, unless a public hearing is required under 21.301.06(B) of the Nonmetallic Mining Reclamation Ordinance, in which case a permit decision shall be made no later than 30 days following the hearing. An accelerated procedure for application review is available by appointment and shall be accompanied with a double fee. Bonds will be set at the time of permit issuance.

Failure of the applicant to notify the Department within five (5) workdays of the receipt of a permit granted by the Department will constitute an acceptance of the permit and all conditions and amendments to the application and plans.

Permit decisions or administration decisions may be appealed pursuant to 21.301.07(E) of the Nonmetallic Mine Reclamation Code.

**NONMETALLIC MINE RECLAMATION PLAN
ON THE
GLENN ZIMMERMAN QUARRY**

**TOWN OF HOLTON
MARATHON COUNTY,
WISCONSIN**

Prepared for:

**Mr. Glenn Zimmerman
Owner/Operator
N12737 Reesewood Avenue
Greenwood, WI 54437**

January 13, 2026

Prepared By:

**BRIAN CAMLEK
CERTIFIED PROFESSIONAL SOIL SCIENTIST
WDNR PROFESSIONALLY ASSURED WETLAND DELINEATOR**

**STAR ENVIRONMENTAL, INC.
(715) 443-6115
bcamlek.starencironmental@hotmail.com**

NONMETALLIC MINE RECLAMATION PLAN ON THE GLENN ZIMMERMAN QUARRY

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Attachment 1 – Project Site Maps

Figure 1: Location Map

Figure 2: Soil Map

Figure 3: Soil Legend

Figure 4: Star Environmental Assured Wetland Map

Figure 5: Marathon County Contour Map

Figure 6: Marathon County Floodplain Map

Figure 7: Existing Site Map

Figure 8: Working Site Map

Figure 9: Proposed Site Map

Figure 10: NMM Cross Sections

Figure 11: Typical Vertical Wall Drawing

Attachment 2 – USDA-NRCS Establishing and Maintaining Vegetation/Seeding Mixture

WisDOT #20 Seed Mix

Attachment 3 – Proof of Ownership

Attachment 4 – Adjacent Landowner Information

Attachment 5 – Reclamation Estimate and Justification

Attachment 6 – Photos

Attachment 7 – Resume'

NONMETALLIC MINE RECLAMATION PLAN ON THE GLENN ZIMMERMAN QUARRY

Introduction

The proposed Quarry consists of approximately 48 acres to be completed in 4 Phases. Phase 1 is 13 acres, Phase 2 is 14 acres, Phase 3 is 10 acres and Phase 4 is 11 acres. The property is owned by Glenn Zimmerman whom is also the Operator. Machinery to be used consists of Backhoes, Dump Trucks, Crusher and Screener. Pumping water, or dewatering, to an adjacent upland location will be required. Fueling will be completed by a portable fuel tank as needed. Quarry will be reclaimed to a pond. Operational hours would be 6 am-6 pm Monday through Friday with occasional Saturdays.

Existing Site Conditions

The area consists of undeveloped agricultural land. No manmade structures are present.

Mineable Material Description

Upland soils to be excavated include the mapped Rietbrock and Loyal Series. Exploratory pits show the presence of shallow bedrock in these areas.

Site Hydrology

Based on the adjacent river, groundwater elevation is estimated at approximately 1370.

The West Branch Big Eau Pleine River is the nearest natural water body. All activities will maintain a greater than 500-foot setback from the river.

Surface water currently flows to the south and west. A vegetated earth berm will be constructed downslope of activities to keep the site's stormwater internally drained.

Per an Assured Wetland Delineation completed by Star Environmental, Inc., no wetlands are present in the project boundary.

Adjacent Biological Resources

The surrounding area to the north east and south consists of agricultural land. Area to the west consists of woodland and the West Branch of the Eau Pleine River.

Mining Process

Mining will start in Spring of 2026 and will be completed in 4 Phases. All mining activities; stockpiling, crushing, etc. will be confined within the proposed quarry. The surface 12 inches of topsoil will be stripped and stockpiled in a 4-foot tall vegetated earth berms with 3:1 or flatter

sideslopes, downslope of Phase 1 at the start of operations. An initial excavation will be completed to contain stormwater runoff. As mining expands, a similar berm will be constructed downslope of Phase 2. Silt Fence will be installed downslope of newly constructed berms. Silt fence will be removed once the berms have been stabilized with a minimum 70 percent vegetative cover. Subsoil may be incorporated in berms or sold as Fill for local projects.

Mining will start with Phase 1. To maintain internal drainage of stormwater, a berm will be constructed on the north, west and south side of Phase 1.

All Material will be loaded with a backhoe onto dump trucks and hauled offsite or stockpiled/crushed within the permitted pit area.

Anticipated Pit bottom for all Phases is elevation 1350 or 20 feet below groundwater.

After mining is complete, the perimeter of the Quarry will have berms, vertical walls with a safety ledge and fencing. The access road will remain and have a minimum slope of 5:1 or flatter.

Site Specific Safety Measures

As mining commences and expands, earth berms will be constructed. Resulting berms will encompass the perimeter of the Quarry. Typical dimensions of the Berms are approximately 5 feet wide on top and 4 feet high with 3:1 or flatter sideslopes. All mining activities, including berm location, will maintain a minimum 20-foot setback from "500-foot setback" and south property line and a 100 foot setback from the north and east property lines.

The Quarry wall will be reclaimed to near vertical walls with a safety ledge and adjacent berm will remain. A fence with "Caution" signs every 100 feet are to be posted around the quarry.

A typical vertical wall/safety ledge will consist of a vertical 4-foot drop to the 10-foot wide safety ledge, then a near vertical drop to the Quarry bottom, see Attachment 1, Figure 11 for configuration.

The access road will remain and have a minimum slope of 5:1 the Pit Bottom.

Conservation Practices

The earth berm will prevent stormwater from leaving the site, keeping the site internally drained. Areas upslope of disturbed mining will be slightly graded to direct stormwater around disturbed areas. Pumping will occur when excavating below groundwater and discharge to an adjacent upland location, Outfall 1. Area of Outfall 1 will have rocks underlaid with geotextile material to prevent siltation/scouring. When Pumping begins, samples will be collected at the time of

pumping by a designated party of Glenn Zimmerman. and analyzed for pH, Total Suspended Solids and Oil and Grease as needed to verify water quality is being maintained. Areas not actively mined will continue to be used for agricultural purposes.

Post Mining Use

The resulting Pond will be used for recreational and wildlife purposes.

Manmade Features

The only manmade features planned for this site are the resulting aquaculture pond, fence along vertical walls and access road. No other structures or other features are planned at this time.

Final Reclamation

A minimum 70% vegetative cover is established required along berms. A minimum of 5-1.0 square meter quadrats will be evaluated to determine percent vegetative cover.

Fence, vertical walls and safety ledges are to be in place as outlined in Attachment 1, Figure 11. Integrity of vertical walls to be verified by an engineer.

All machinery associated with mining will be removed.

When these conditions have been met and verified by Marathon County Zoning, the site will be considered reclaimed.

ATTACHMENT 1

PROJECT SITE MAPS

Attachment 1 – Project Site Maps

Figure 1: Location Map

Figure 2: Soil Map

Figure 3: Soil Legend

Figure 4: Star Environmental Assured Wetland Map

Figure 5: Marathon County Contour Map

Figure 6: Marathon County Floodplain Map

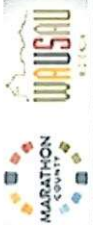
Figure 7: Existing Site Map

Figure 8: Working Site Map

Figure 9: Proposed Site Map

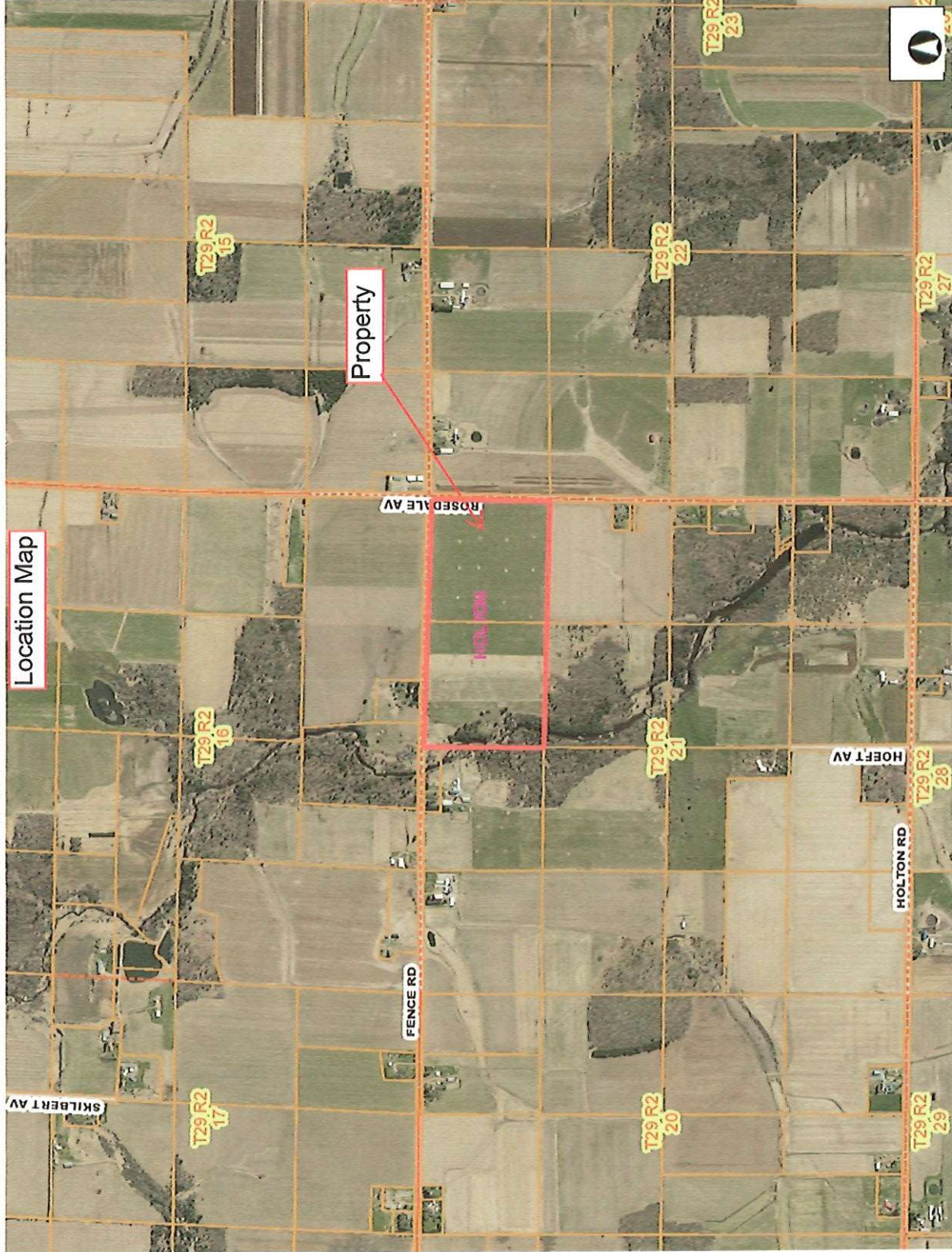
Figure 10: NMM Cross Sections

Figure 11: Typical Vertical Wall Drawing



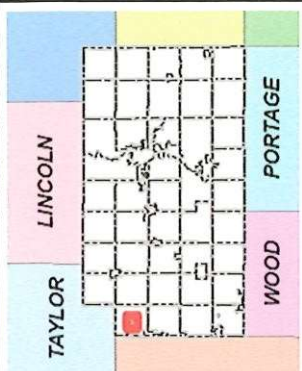
Land Information Mapping System

Location Map



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3



800.79 0 800.79 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Figure 1

Soil Map—Marathon County, Wisconsin

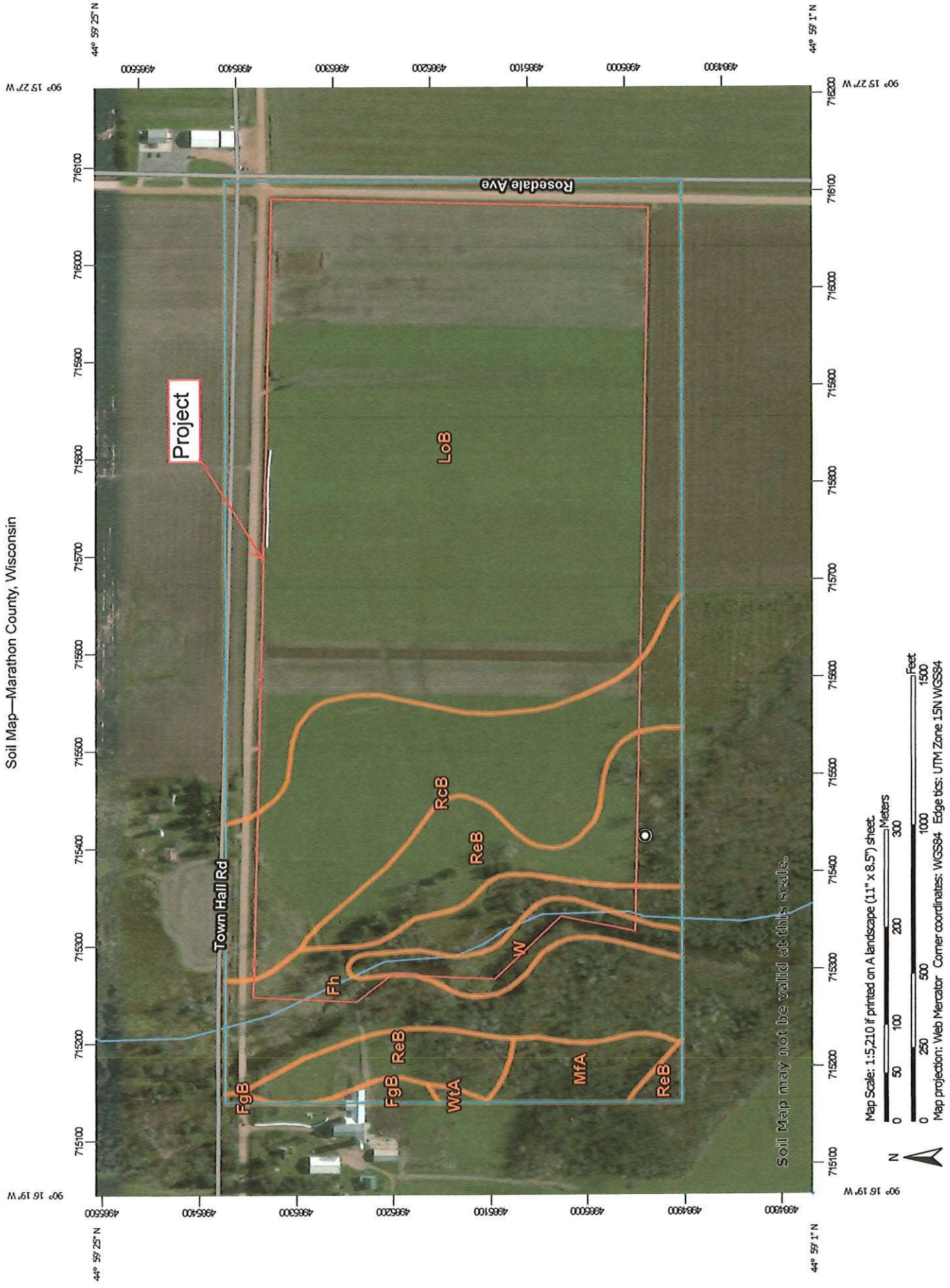


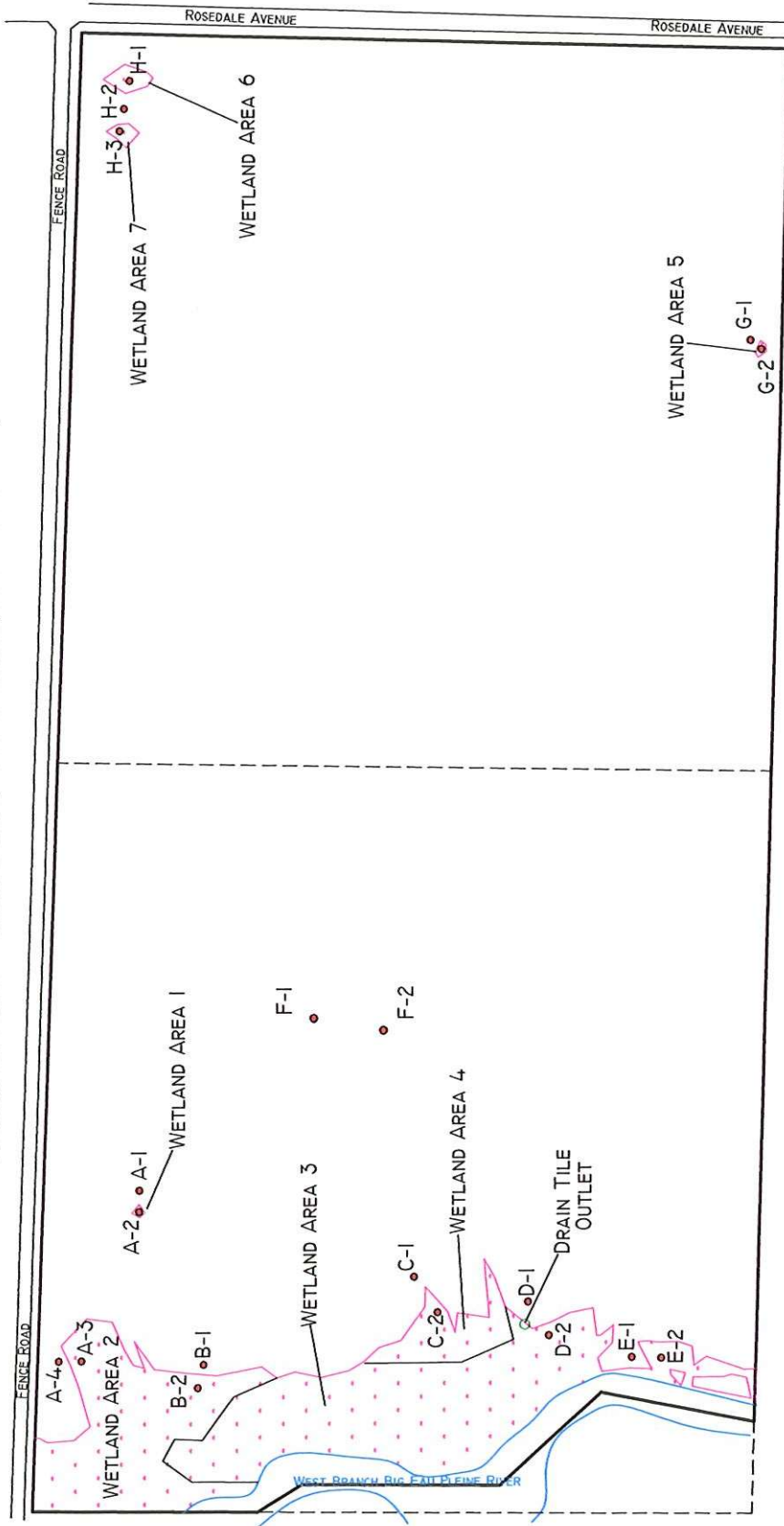
Figure 2

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
FgB	Fenwood-Rozellville silt loams, 2 to 6 percent slopes	0.6	0.5%
Fh	Fordum silt loam, 0 to 1 percent slopes	12.5	11.3%
LoB	Loyal silt loam, 1 to 6 percent slopes	63.5	57.5%
MfA	Marshfield silt loam, 0 to 2 percent slopes	2.5	2.3%
RcB	Rielbrock silt loam, 1 to 8 percent slopes	16.6	15.1%
ReB	Rielbrock silt loam, 1 to 8 percent slopes, stony	11.6	10.5%
W	Water	3.0	2.7%
WtA	Withee silt loam, 0 to 3 percent slopes	0.2	0.1%
Totals for Area of Interest		110.5	100.0%

WETLAND DELINEATION MAP

GLENN ZIMMERMAN PROPERTY LOCATED IN THE NW1/4, NE1/4, SECTION 21,
TOWNSHIP 29 NORTH - RANGE 2 EAST, TOWN OF HOLTON, MARATHON COUNTY, WISCONSIN



WETLAND AREA 1	WETLAND AREA 2	WETLAND AREA 3	WETLAND AREA 4	WETLAND AREA 5	WETLAND AREA 6	WETLAND AREA 7
SEDGE MEADOW	FRESH (WET) MEADOW	HARDWOOD SWAMP	SEDGE MEADOW	SEDGE MEADOW	SEDGE MEADOW	SEDGE MEADOW
274 Sq. FT.	1.91 ACRES	3.06 ACRES	0.44 ACRES	368 Sq. FT.	2,722 Sq. FT.	1,362 Sq. FT.

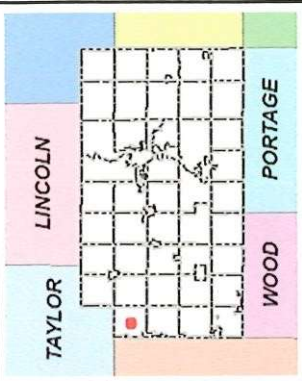
LEGEND:

- SCALE: 1" = 200' UNLESS NOTED
- NOT A CERTIFIED SURVEY MAP
- PROJECT BOUNDARY
- PROPERTY LINE
- WETLAND BOUNDARY
- SAMPLE POINT

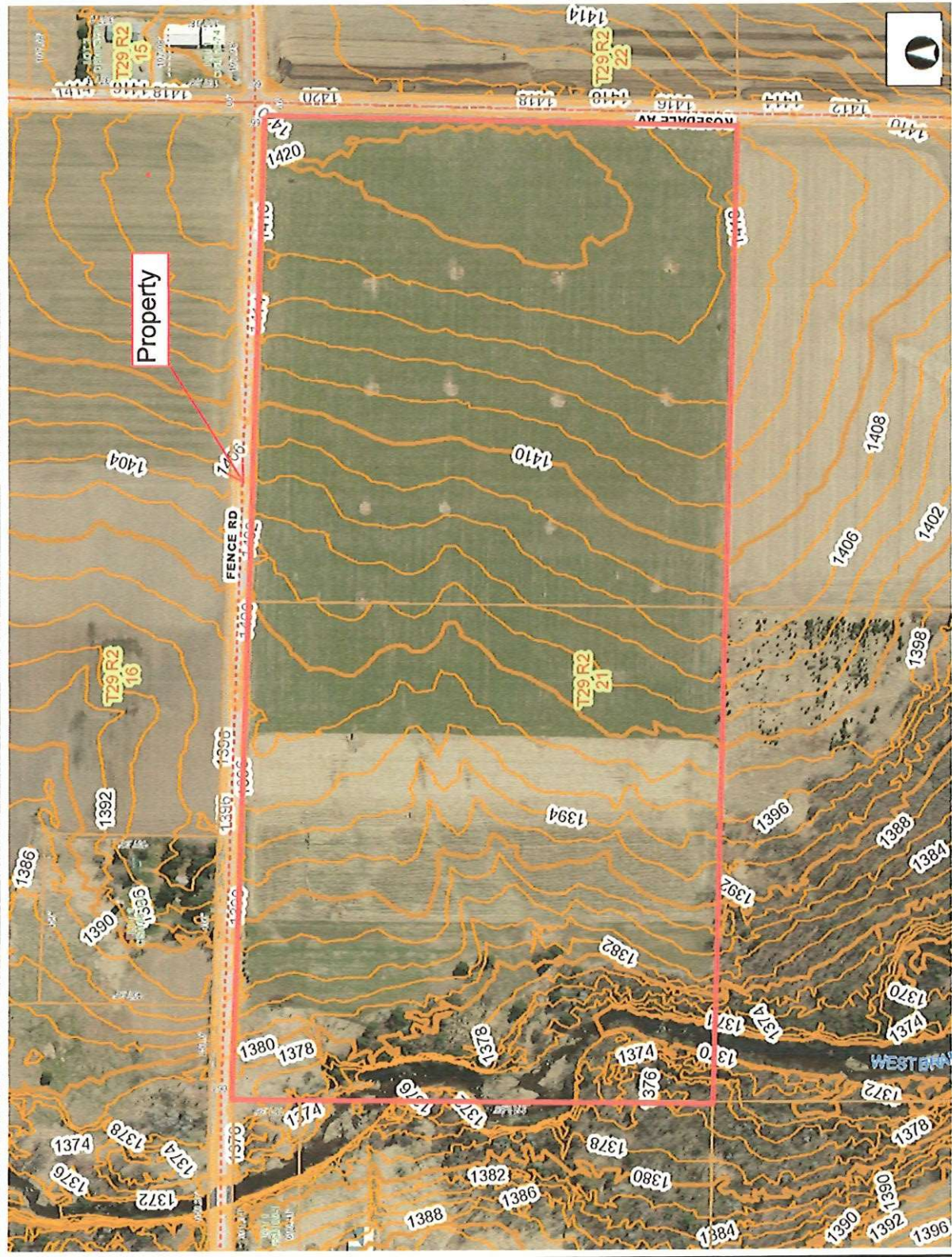


705 3RD STREET, PO BOX 434
MARATHON, WISCONSIN 54448
PHONE: (715) 443-6115
STARENVIROMENTAL@HOTMAIL.COM

Land Information Mapping System



- Legend**
- Road Names
 - Parcels
 - Parcel Lot Lines
 - Land Hooks
 - Section Lines/Numbers
 - Right Of Ways
 - Named Places
 - Municipalities
 - 2ft Contour Labels
 - County-wide 2ft Contours (2012)
 - Index
 - Intermediate
 - 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3



Notes

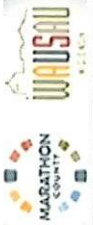
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

200.20 0 200.20 Feet

NAD_1983_HARN_WISCRS_Marathon_County_Feet

Figure 5



Land Information Mapping System



Floodplain Map

Property

FENCE RD

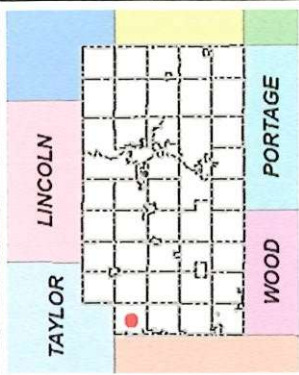
ROSEDALE AVE

T29 R2
15

T29 R2
16

T29 R2
21

T29 R2
22



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- Floodplain
- A
- AO
- AE
- AE FLOODWAY
- AE ADMINISTRATIVE FLOODWAY
- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- 2020 Orthos Countywide
- Red: Band_1
- Green: Band_2
- Blue: Band_3

280.75 0 280.75 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

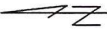
Notes

Figure 6



EXISTING SITE MAP

Project:
 Glenn Zimmerman Quarry
 NW1/4, NE1/4, Sec. 21, T29N, R2E
 Town of Halton, Marathon County
 Date Map Created: 1-13-26



- Phase 1 = 13 acres
- Phase 2 = 14 acres
- Phase 3 = 10 acres
- Phase 4 = 11 acres

Scale: 1" = 100' Unless Noted



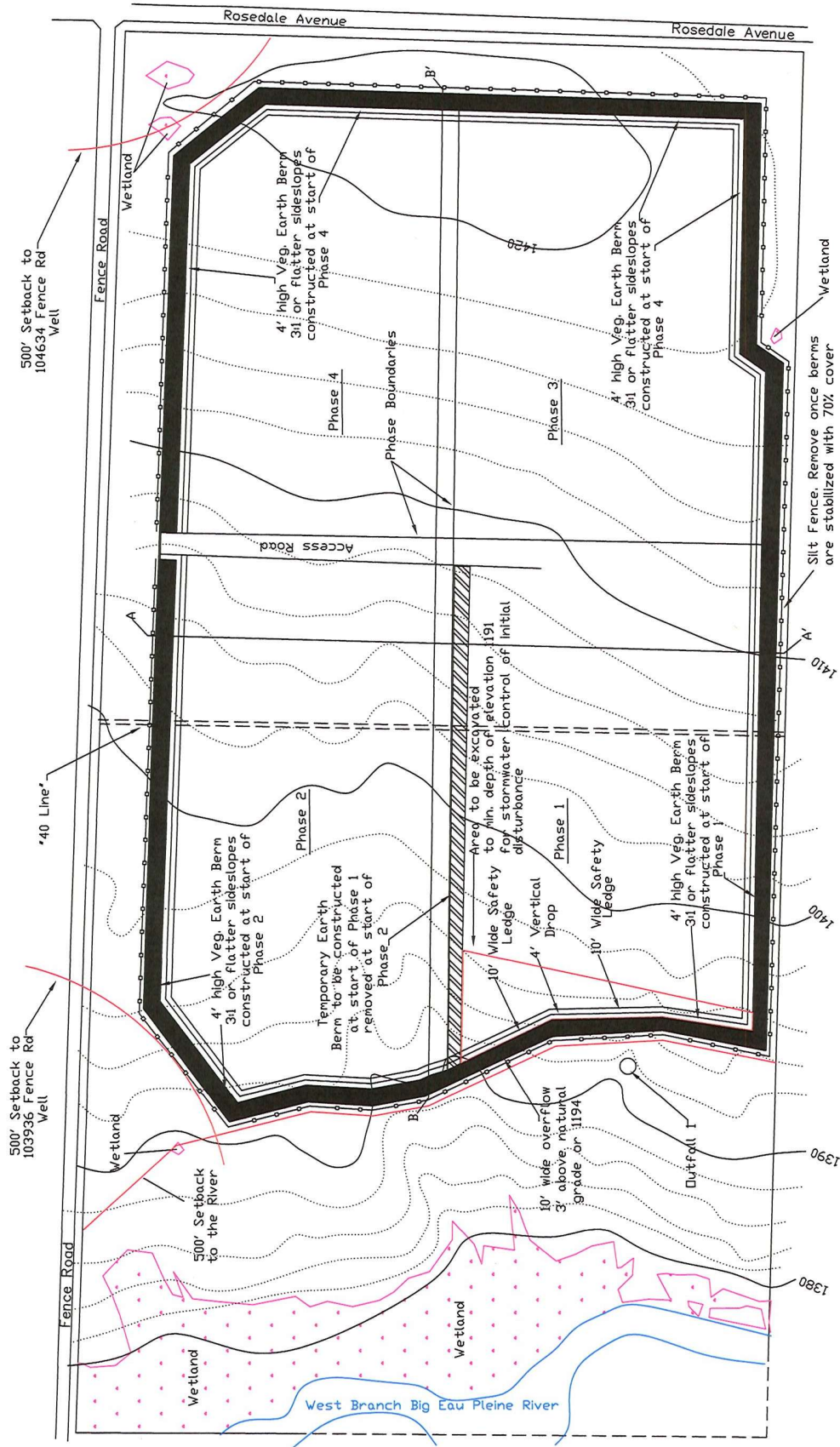
This is not a certified survey map

Legend

- Wetlands Delineated by Star Environmental, Inc.
- 500' Setback to the River

WORKING SITE MAP

Project: Glenn Zimmerman Quarry
 NW1/4, NE1/4, Sec. 21, T29N, R2E
 Town of Holton, Marathon County
 Date Map Created: 1-13-26



Note: 4'-4' Wire Barb Fence with "Caution" signs every 100' to be installed where silt fence is shown as part of reclamation
 Note: Areas upslope of actively mined areas to be graded to divert stormwater around disturbed area
 Note: Area to be excavated to min. depth of elevation 191 for stormwater control of initial disturbance

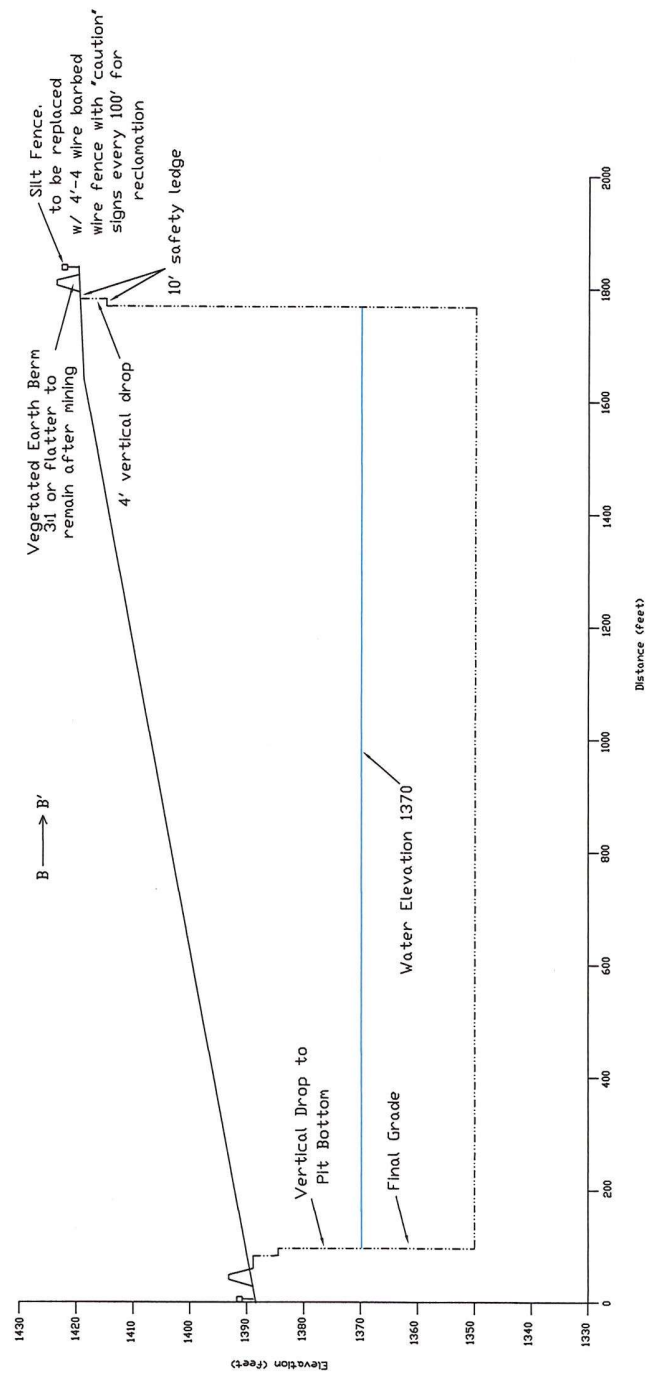
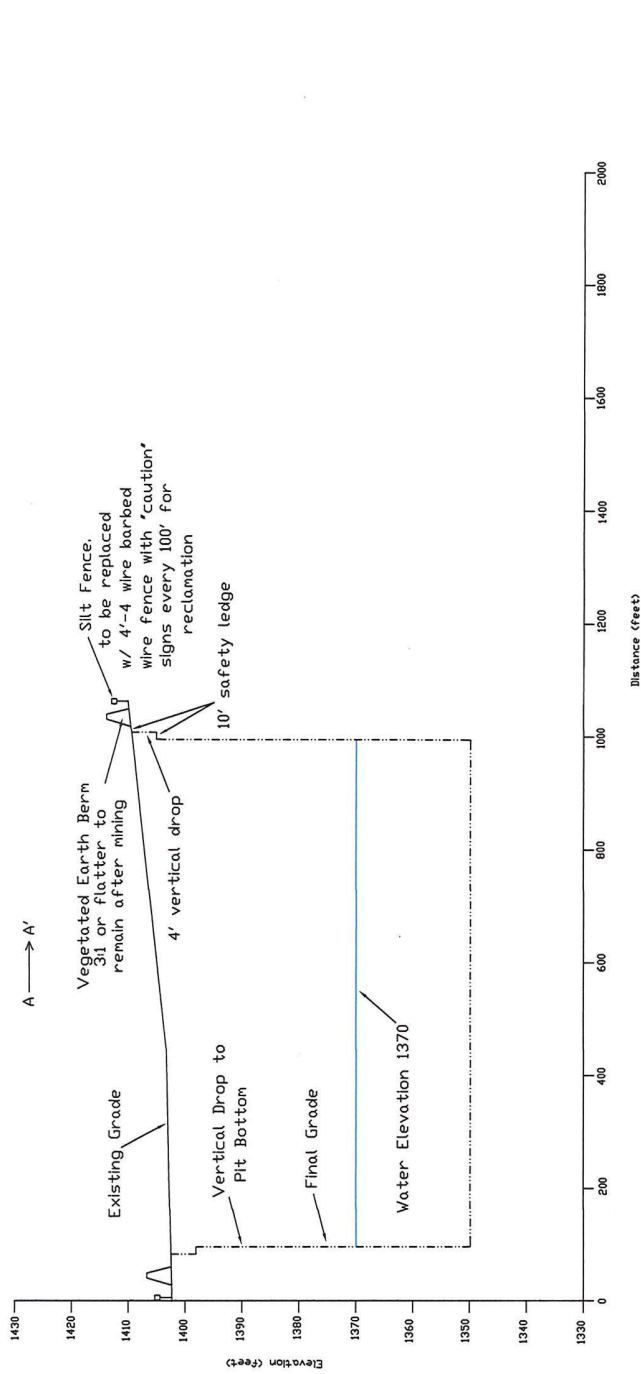
Legend

- Wetlands Delineated by Star Environmental, Inc.
- 500' Setback to the River
- Silt Fence
- Temporary Earth Berm
- Permanent Earth Berm constructed at start of associated Phase

Scale: 1" = 100' Unless Noted



This is not a certified survey map



Example of Typical Vertical Wall and Safety Ledge Drawing

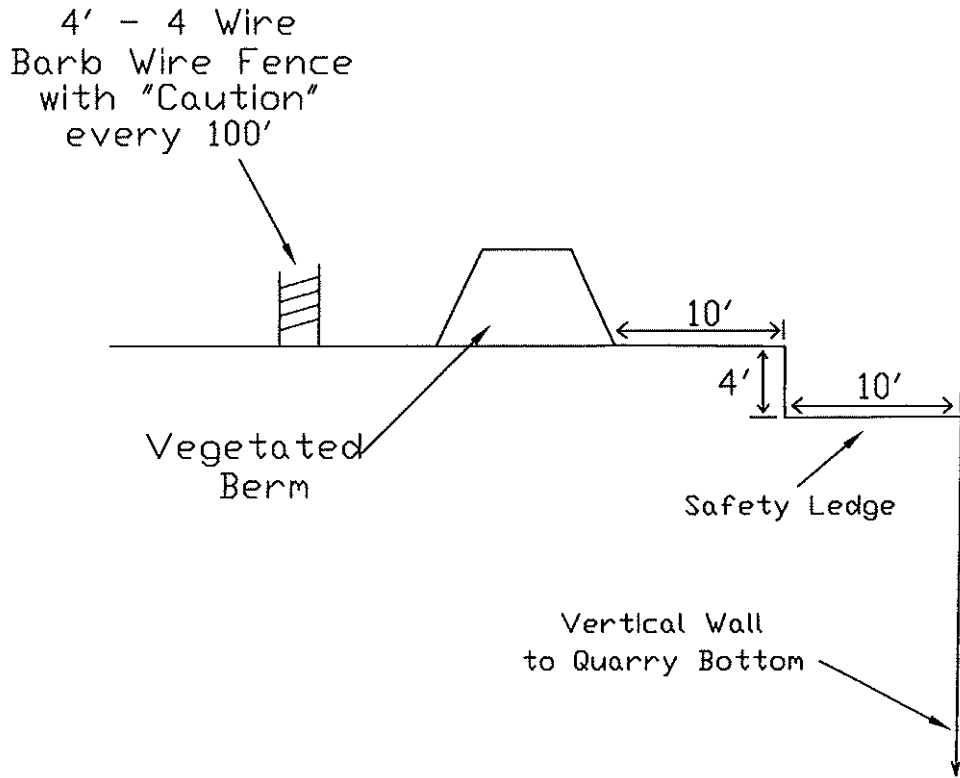


Figure 11

ATTACHMENT 2

USDA-NRCS Establishing and Maintaining Vegetation/Seeding Mixture

WisDOT #20 Seed Mix

USDA-NRCS
ESTABLISHING AND MAINTAINING VEGETATION

1. **Make Plans for Seeding after Construction!** Seed within 24 hours after construction. If construction finishes after September 1 make a temporary seeding of Annual rye, or a dormant seeding. If a temporary seeding is done, plan to reseed in early spring. Where possible and practical, divert runoff until vegetation is established. Use soil retention blankets, jute matting, or sod in critical areas where water concentrates.
2. **Obtain Needed Materials!** Test soil. Secure lime, fertilizer, seed, seed inoculation and mulching materials before construction starts.
 - a. **Lime.** If needed, apply lime at the rate of 3 tons per acre.
 - b. **Fertilizer.** In lieu of a soil test, apply 400-600 pounds per acre of 20-10-10.
 - c. **Seed.** Always check the label and seed in pure live seed rates.
 - d. **Mulch Materials.** Mulch with 1/ 2 tons/acre of straw or hay reasonably free from grain and weed seed, or strawy manure at the rate of 6-8 T/A may be used.

SEED RATES PER ACRE AND SEED NEEDED IN POUNDS					
Mix # <u>DOT 20</u>	Location: Berms		Mix # _____	Location:	
	Acres: <u>--4----</u>			Acres:	
(From Critical Area Planting Mixtures-342)	Rate per acre	# Seed Needed	(From Critical Area Planting Mixtures-342)	Rate per acre	# Seed Needed
SPECIES			SPECIES		
Kentucky Bluegrass	7.8 lbs	32			
Hard Fescue	31.36 lbs	128			
Tall fescue	52.27 lbs	212			
Perennial Ryegrass	49.66 lbs	200			

3. **Prepare the Seedbed!** THE SUCCESS OF THIS SEEDING DEPENDS ON THE PROPER SEEDBED. With a disk or harrow, work the soil to a 3-inch depth. On small areas, handwork may be necessary.
4. **Mulch Properly!** Spread mulch uniformly. 1 1/2 T/A is 60 bales per acre or 6-7 stems thick. Anchor mulch by pressing into the soil with a dull, weighted disc set straight or other approved methods. Work waterways crosswise when possible.
5. Seed shallow at 1/4 to 1/2 inch deep immediately after seedbed preparation. A cultipacker seeder works well. A hydro-seeder or hand seeder can be used.
6. **Maintain Properly!** Control weeds and undesirable woody vegetation. Delay mowing until after July 15 to accommodate ground-nesting wildlife. If pastured, always regulate grazing. Where grasses alone are used, an occasional application of fertilizer, high in nitrogen helps to maintain the stand.

ADDITIONAL COMMENTS:

Zimmerman
Owner
Marathon
County

ATTACHMENT 3

PROOF OF OWNERSHIP

Marathon County

Owner (s):
ZIMMERMAN, GLENN H
ZIMMERMAN, ALTA S

Location:
NE1/4 NE1/4, Sect. 21, T29N, R2E

Mailing Address:
GLENN H ZIMMERMAN
ALTA S ZIMMERMAN
N12737 REESEWOOD AVE
GREENWOOD, WI 54437-
 Request Mailing Address Change

School District:
1162 - COLBY

Tax Parcel ID Number: Tax District: Status:
042-2902-211-0999 042-TOWN OF HOLTON Active

Alternate Tax Parcel Number: Government Owned: Acres:
21-212902-001-000-00-00 40.0000

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):
SEC 21-29-02 NE 1/4 NE 1/4

Site Address (es): *(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)*

Taxes

0 Lottery credits claimed

Tax History

* Click on a Tax Year for detailed payment information.

Tax Year*	Omitted	Tax Bill	Taxes Paid	Taxes Due	Interest	Penalty	Fees	Total Payoff
2025	<input type="checkbox"/>	\$162.46	\$0.00	\$162.46	\$0.00	\$0.00	\$0.00	\$162.46
2024	<input type="checkbox"/>	\$154.86	\$154.86	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023	<input type="checkbox"/>	\$145.29	\$145.29	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2022	<input type="checkbox"/>	\$122.20	\$122.20	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2021	<input type="checkbox"/>	\$120.05	\$120.05	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2020	<input type="checkbox"/>	\$118.81	\$118.81	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2019	<input type="checkbox"/>	\$120.85	\$120.85	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2018	<input type="checkbox"/>	\$112.07	\$112.07	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2017	<input type="checkbox"/>	\$98.93	\$98.93	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2016	<input type="checkbox"/>	\$114.99	\$114.99	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2015	<input type="checkbox"/>	\$111.25	\$111.25	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2014	<input type="checkbox"/>	\$111.23	\$111.23	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2013	<input type="checkbox"/>	\$117.51	\$117.51	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2012	<input type="checkbox"/>	\$133.09	\$133.09	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Total								\$162.46

'PAY TAXES' button may be used to pay the SECOND installment for all municipalities except for the City of Wausau. It may also be used to pay past year delinquent taxes for all municipalities. If the first installment is not received by the municipality by January 31 of the year due, interest and penalty will

ATTACHMENT 4

ADJACENT LANDOWNER INFORMATION

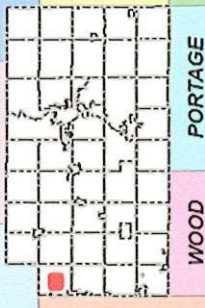
ADJACENT LANDOWNER'S

- 1) Tri-G Farms, Inc.
105323 County Road A
Dorchester, WI 54425
- 2) Town of Holton
104634 Fence Road
Abbotsford, WI 54405
- 3) Bruce and Jolene Gumz
104800 Fence Road
Abbotsford, WI 54405
- 4) Rueden Family Legacy Trust
104831 Fence Road
Abbotsford, WI 54405
- 5) Scott and Patricia Rueden
232956 Rosedale Ave
Abbotsford, WI 54405
- 6) Glenn Zimmerman
N12737 Reesewood Ave
Greenwood, WI 54437
- 7) Amos Yoder
103633 Fence Road
Abbotsford, WI 54405
- 8) Richard and Teresa Bartnik
108389 Holton Road
Abbotsford, WI 54405
- 9) Sarah Rankl
103936 Fence Road
Abbotsford, WI 54405



Land Information Mapping System

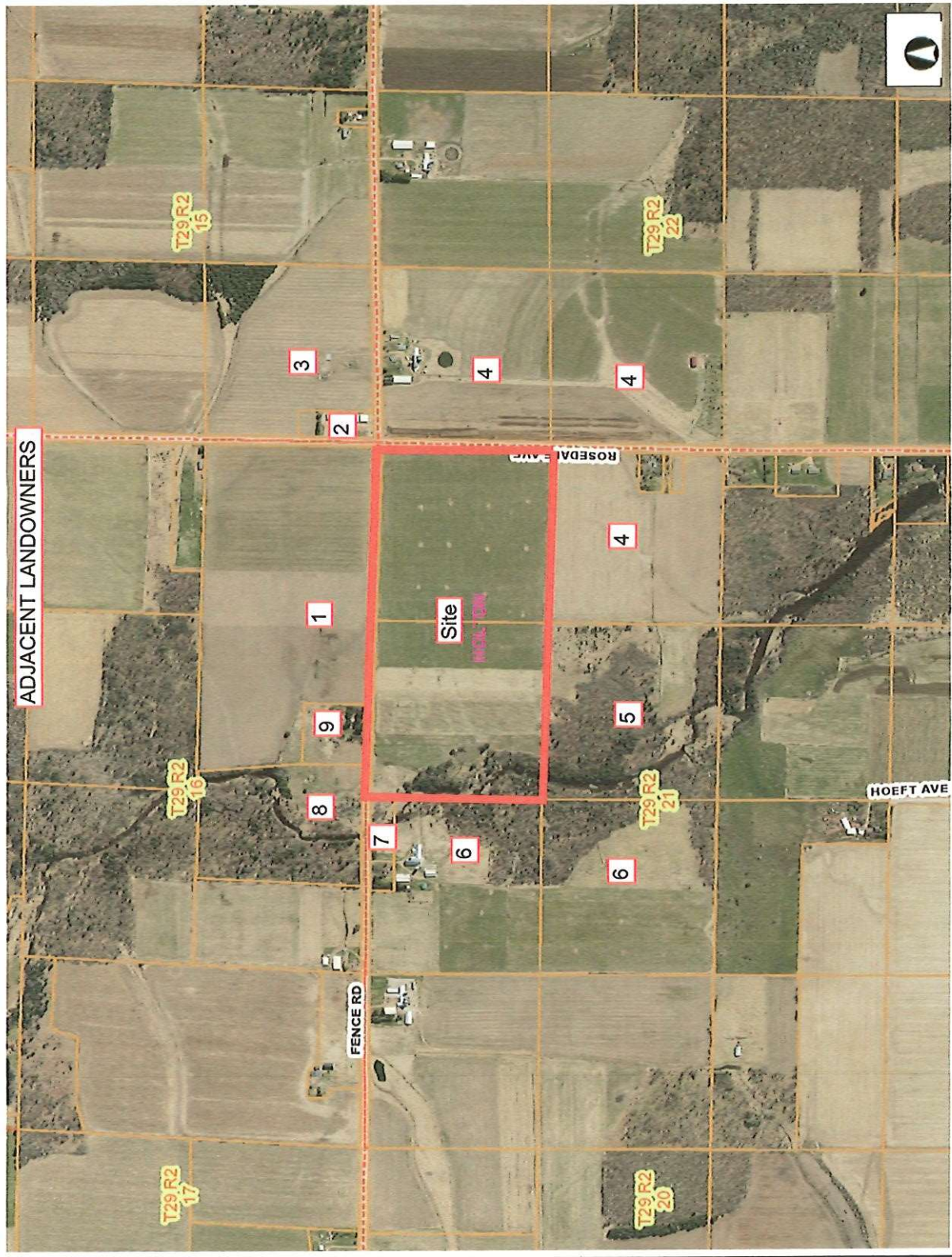
TAYLOR LINCOLN



WOOD PORTAGE

Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2020 Orthos Countywide
- Red: Band_1
- Green: Band_2
- Blue: Band_3



561.49 0 561.49 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

ATTACHMENT 5

RECLAMATION ESTIMATE AND JUSTIFICATION

SUMMARY FOR CALCUTING A PROPOSED FINANCIAL ASSURANCE

Decription: Phase 1
Area in Acres: 13

Item: See Attachment C for Descriptions for WDNR sample costs, Attachment E for description of assurance types.)	Units (Acres)	Cost/Unit	Amount
<input checked="" type="checkbox"/> Grading and regrading <input checked="" type="checkbox"/> Activities necessary to ensure soil and slope stabilization Erosion Control Materials, Equipment and Labor Note: Cost reflects grading and redistributing 6" of Topsoil	13	\$2,823.00	\$36,699.00
<input checked="" type="checkbox"/> Scarification of subsoil or underlying materials prior to topsoil redistribution	13	\$150.00	\$1,950.00
<input type="checkbox"/> Cost of obtaining or creating substitute topsoil material (if necessary) <input type="checkbox"/> Topsoil redistribution <input type="checkbox"/> Application of lime and/or fertilizing to plan or test Materials, Equipment and Labor Note: Cost has been taken into account in other sections			
<input checked="" type="checkbox"/> Revegetation: Seeding/Transplanting Materials including cost of seed, fertilizer, mulch, equipment and labor	13	\$2,000.00	\$26,000.00
<input type="checkbox"/> Mulching, netting or other stabilizing techniques Materials, Equipment, Labor Note: Cost has been taken into account in other sections			
<input checked="" type="checkbox"/> Site maintenance costs up until time of final inspcetion and/or recovery of financial assurance.	13	\$50.00	\$650.00
Total			\$65,299.00
Total per Acre			\$5,023.00

SUMMARY FOR CALCUTING A PROPOSED FINANCIAL ASSURANCE

Decription: Phase 2
Area in Acres: 14

Item: See Attachment C for Descriptions for WDNR sample costs, Attachment E for description of assurance types.)	Units (Acres)	Cost/Unit	Amount
<input checked="" type="checkbox"/> Grading and regrading <input checked="" type="checkbox"/> Activities necessary to ensure soil and slope stabilization Erosion Control Materials, Equipment and Labor Note: Cost reflects grading and redistributing 6" of Topsoil	14	\$2,823.00	\$39,522.00
<input checked="" type="checkbox"/> Scarification of subsoil or underlying materials prior to topsoil redistribution	14	\$150.00	\$2,100.00
<input type="checkbox"/> Cost of obtaining or creating substitute topsoil material (if necessary) <input type="checkbox"/> Topsoil redistribution <input type="checkbox"/> Application of lime and/or fertilizing to plan or test Materials, Equipment and Labor Note: Cost has been taken into account in other sections			
<input checked="" type="checkbox"/> Revegetation: Seeding/Transplanting Materials including cost of seed, fertilizer, mulch, equipment and labor	14	\$2,000.00	\$28,000.00
<input type="checkbox"/> Mulching, netting or other stabilizing techniques Materials, Equipment, Labor Note: Cost has been taken into account in other sections			
<input checked="" type="checkbox"/> Site maintenance costs up until time of final inspcetion and/or recovery of financial assurance.	14	\$50.00	\$700.00
Total			\$70,322.00
Total per Acre			\$5,023.00

SUMMARY FOR CALCUTING A PROPOSED FINANCIAL ASSURANCE

Decription: Phase 3
Area in Acres: 10

Item: See Attachment C for Descriptions for WDNR sample costs, Attachment E for description of assurance types.)	Units (Acres)	Cost/Unit	Amount
<input checked="" type="checkbox"/> Grading and regrading <input checked="" type="checkbox"/> Activities necessary to ensure soil and slope stabilization Erosion Control Materials, Equipment and Labor Note: Cost reflects grading and redistributing 6" of Topsoil	10	\$2,823.00	\$28,230.00
<input checked="" type="checkbox"/> Scarification of subsoil or underlying materials prior to topsoil redistribution	10	\$150.00	\$1,500.00
<input type="checkbox"/> Cost of obtaining or creating substitute topsoil material (if necessary) <input type="checkbox"/> Topsoil redistribution <input type="checkbox"/> Application of lime and/or fertilizing to plan or test Materials, Equipment and Labor Note: Cost has been taken into account in other sections			
<input checked="" type="checkbox"/> Revegetation: Seeding/Transplanting Materials including cost of seed, fertilizer, mulch, equipment and labor	10	\$2,000.00	\$20,000.00
<input type="checkbox"/> Mulching, netting or other stabilizing techniques Materials, Equipment, Labor Note: Cost has been taken into account in other sections			
<input checked="" type="checkbox"/> Site maintenance costs up until time of final inspcetion and/or recovery of financial assurance.	10	\$50.00	\$500.00
Total			\$50,230.00
Total per Acre			\$5,023.00

SUMMARY FOR CALCUTING A PROPOSED FINANCIAL ASSURANCE

Decription: Phase 4
Area in Acres: 11

Item: See Attachment C for Descriptions for WDNR sample costs, Attachment E for description of assurance types.)	Units (Acres)	Cost/Unit	Amount
<input checked="" type="checkbox"/> Grading and regrading <input checked="" type="checkbox"/> Activities necessary to ensure soil and slope stabilization Erosion Control Materials, Equipment and Labor Note: Cost reflects grading and redistributing 6" of Topsoil	11	\$2,823.00	\$31,053.00
<input checked="" type="checkbox"/> Scarification of subsoil or underlying materials prior to topsoil redistribution	11	\$150.00	\$1,650.00
<input type="checkbox"/> Cost of obtaining or creating substitute topsoil material (if necessary) <input type="checkbox"/> Topsoil redistribution <input type="checkbox"/> Application of lime and/or fertilizing to plan or test Materials, Equipment and Labor Note: Cost has been taken into account in other sections			
<input checked="" type="checkbox"/> Revegetation: Seeding/Transplanting Materials including cost of seed, fertilizer, mulch, equipment and labor	11	\$2,000.00	\$22,000.00
<input type="checkbox"/> Mulching, netting or other stabilizing techniques Materials, Equipment, Labor Note: Cost has been taken into account in other sections			
<input checked="" type="checkbox"/> Site maintenance costs up until time of final inspcetion and/or recovery of financial assurance.	11	\$50.00	\$550.00
Total			\$55,253.00
Total per Acre			\$5,023.00

Attachment C

A Partial List of Reclamation Activities

A. Earthwork and Grading

- final grading and/or regrading of the nonmetallic mining site
 - earthwork
 - final slopes or slope angles,
 - high wall reduction,
 - benching,
 - terracing
 - and other structural slope stabilization measures.
 - any reclamation blasting
-

B. Topsoil Management

(Removal, Storage, Substitute Soil, Redistribution)

- removal
 - storage
 - protection
 - the replacement or redistribution of topsoil or topsoil substitute material
 - topsoil substitute material "means soil or other unconsolidated material either used alone or mixed with other beneficial materials and which can provide the plant growth
 - on-site topsoil or topsoil substitute material or by obtaining topsoil or substitute material as needed to make up the volume of topsoil as specified in the reclamation plan.
 - all areas in the nonmetallic mine site where topsoil or topsoil substitute material is to be reapplied shall be graded or otherwise prepared prior to topsoil or topsoil substitute material redistribution to provide the optimum adherence between the topsoil or topsoil substitute material and the underlying material.
-

C. Revegetation Plan

A revegetation plan which shall include:

- timing and methods of seed bed preparation,
 - rates and kinds of soil amendments,
 - seed application timing, methods and rates,
 - mulching, netting
 - and any other techniques needed to accomplish soil and slope stabilization.
-

D. Erosion Control: Stabilization of Soil Conditions

A plan and, if necessary, a narrative showing erosion control measures to be employed during reclamation activities

- temporary or long-term erosion control
- straw bales
- construction of swale, ditch,
- temporary sediment pond
- silt fence
- riprap
- energy dissipaters
- terraces
- benching,
- other structural slope stabilization measures.
- other

E. Maintenance and Monitoring Prior to Release of Financial Assurance and Until Declaration of Completion (DOC)

- reports & evaluations including summarized data on revegetation, photodocumentation or other evidence that the criteria approved in the reclamation plan to ascertain success have been met; or
- the operator shall perform any maintenance necessary to prevent erosion, sedimentation or environmental pollution, comply with the standards of this subchapter, or to meet the goals specified in the reclamation plan.

F. Management of Refuse or Other Solid Waste (may Include Removal of Structures, Roads, Foundations, etc.)

- the removal or reuse of nonmetallic mining refuse
- removal of roads
- removal of structures
- removal of foundations
- other solid wastes shall be disposed of in accordance with applicable rules of the department adopted pursuant to chs. 289 and 291, Stats.

G. Other Reclamation Activities (List as Many as Necessary)

- fill material and activities whether fill is obtained on-site or off-site
- well abandonment
- removal of electrical supply
- removal of fences
- other

Attachment D

Typical Costs for Selected Reclamation Activities

We have provided a summary for some typical reclamation activities that may be performed at a mine site during reclamation. The table below is based on a number of sources including those referenced on a Wisconsin Department of Transportation Webpage. The numbers from the summary and/or the WisDOT Webpage can be used, as appropriate, to estimate the cost for reclamation activities included in nonmetallic mine reclamation plans or in the review of financial assurance needs estimates.

The WisDOT estimates were obtained from bids on highways, bridges, and airports in the state of Wisconsin. The complete list can be found at <http://www.dot.state.wi.us/dtid/bhc/hwybids.html>. Scroll down the page a little and select the file under "Average unit price list".

Item/Element	Source ⁴
Trees - 200/ac @ \$7.50 = \$1500/ac Shrubs - 200/ac @ \$5.00 = \$1,000/ac. Understory (grasses, wildflowers & sedges) \$1,500/ac	FMC *
Seed fertilize and mulch (grass & forbs) = \$2,000 per acre	NMC **
Seed @ \$30.00 per pound	WisDOT ***
Mulch @ \$0.25 per square yard	WisDOT
Seed fertilize and mulch (savanna) @ \$2,500 per acre	NMC
Seed, fertilize and mulch @ \$2,000,00 per acre	NMC
Fertilize \$40 per CWT (100 lbs.)	WisDOT
Replace topsoil = \$2 per cubic yard	NMC
Regrade soil = \$1.50 per cubic yard	NMC
Remove (2ft.) soil = \$1.50 per cubic yard	NMC
Demolition = \$21 per cubic foot	NMC
Break up slabs = \$2.50 per square foot	NMC
On-site disposal of concrete = \$6.00/ cubic yard	NMC
Break up foundations = \$20/linear foot	NMC
Misc. erosion control (berms, riprap etc.) = \$50,000 (lump sum)	NMC

⁴ Also see references under Attachment A

Silt fence (installed) = \$0.82/linear foot	WDNR ADM.
Riprap = \$47 per cubic yard	WisDOT
Road Obliteration Bituminous = \$7 per square yard Concrete = \$11.65 per square yard	WDNR ADM.
Removal of Masonry building demolition @ \$17.80 per square foot Removal of Wood building demolition @ \$13.15 per square foot	WDNR ADM.
Landfill disposal of above @ \$20 to \$50 per ton	Dave Misterek, WDNR, Oshkosh Office
Surveying (property boundary, perimeter etc.) @ \$1.04 /linear ft.	WDNR ADM.
Hauling –10 mile round trip @ \$15/ cubic yard	WDNR ADM.
Average per acre reclamation cost for surface coal reclamation = \$5,500 (this very general per acre cost is based upon numerous sites in the state and is provided only to give a benchmark)	State of Pennsylvania Department of Environmental Protection, Bureau of Mining and Reclamation
Marker Posts = \$44.00 per linear foot	WisDOT
Culvert Pipe (12 INCH) = \$ 92.00	WisDOT
Remove culverts @ \$2.00 per linear foot	FMC
Downspout (6-inch) = \$150 per linear foot	WisDOT
Abandoning wells = \$1,250	WisDOT

- * FMC = Flambeau Mining Company; data for reclaimed Flambeau Mine (Ladysmith, WI): 1989.
- ** NMC = Nicolet Minerals Company; data for reclamation of the proposed Crandon Mine (Crandon, WI): 1998.
- *** WisDOT = Wisconsin Department of Transportation: 2001.
- **** WDNR ADM. = Wisconsin DNR Division of Administration: 2002.

Attachment E

Description of Financial Assurance Options

Financial Assurance mechanisms may be placed in two basic categories:

- 1) Funds are actually *set aside* (escrows, trusts, and deposits with the Regulatory Authority)
- 2) *financial guarantees* (bonds, letters of credit, and insurance).

▶ Deposit with the Regulatory Authority (funds set aside) - A deposit of *cash*, *certificate of deposit* or *U.S. Government Securities* with the RA to guarantee performance of obligations under a reclamation permit.

▶ Escrow account (funds set aside) - The permittee transfers *cash*, *certificates of deposit* or *U.S. Government Securities* are and put into the custody of a third party, (usually a bank or financial institution). The escrow account is established by the permittee to satisfy the financial assurance requirements.

▶ Irrevocable trust (funds set aside) - A trust fund is an arrangement in which a separate legal entity, the trust, is created by the permittee to hold property or funds solely for the purpose of guaranteeing performance of obligations under a reclamation permit.

▶ Bond or surety bond (financial guarantee) - Also known as either:

- a *performance bond* - surety company promises to pay for or perform reclamation or
 - a *forfeiture bond* - surety company promises to make a cash payment for the bond amount
- A bond is an instrument provided by a surety company for which the permittee pays a fee. This is a 3-party agreement that serves as a guarantee that the provider will pay costs associated with fulfilling the permittee's obligations in the event of default

▶ Insurance (financial guarantee) - An applicant takes out a closure insurance policy from an insurance company. The policy must be issued in an amount adequate to cover the reclamation costs. The RA is the beneficiary of the policy.

▶ Irrevocable letter of credit (financial guarantee) - This is similar to a bond with a bank or financial institution taking the place of a surety. A irrevocable letter of credit is established solely for the purpose of guaranteeing performance of obligations under a reclamation permit. The bank or financial institution agrees to pay in event of default.

▶ Net worth test - Method in which a permittee may demonstrate the financial viability of their company. Please refer to NR 135.40 (13), Wis. Adm. Code, for details of the legal review requirements. To do this, an applicant must provide sufficient financial data to demonstrate compliance with minimum financial standards. The company must satisfy specific financial criteria and pass several financial ratios. The application must be supported by the opinion of an independent certified public accountant in order to establish proof of financial responsibility. The data used to demonstrate the financial viability must be taken from the company's audited financial statements from the most recently completed fiscal year. The financial information must be resubmitted every year, using the most current financial statement data.

ATTACHMENT 6

PHOTOS

Glenn Zimmerman Property Site Photos



North Project Boundary Looking West



North Project Boundary Looking East



West side of field looking East



South side of field looking East



Near Phase 1 and 2 boundary looking West



NE Project Corner Looking South Along Rosedale Ave.

ATTACHMENT 7

RESUME'

Résumé' of Qualifications
Brian Camlek,
Certified Professional Soil Scientist
WDNR Professionally Assured Wetland Delineator,
Licensed Designer of Engineering Systems
CST, POWTS Inspector
Star Environmental, Inc.
705 Third Street, P.O. Box 434, Marathon, WI 54448
Telephone: 715-443-6115, Cell: 715-630-4401
Email: bcamlek.starenvironmental@hotmail.com

Experience: Star Environmental, Inc., Certified Professional Soil Scientist

Professional Experiences in Wetland Delineations, Wetland Mitigation Banks, Non-Metallic Mine Reclamation Plans, Pond Development Plans, Stormwater Pollution Prevention Plans, Soil and Site Evaluations for Septic Systems and Stormwater, Septic System Designs, Septic System and Well Inspections.

Dade Moeller, Inc., Environmental Scientist

Sampled Soil, Water, Vegetation and Aquatic Organism while conducting extensive QA/QC of data collected during offshore operations in the Gulf of Mexico in response to the BP Deepwater Horizon Oil Spill of 2010.

Water and Environmental Analysis Laboratory, UWSP, Environmental Lab Technician

Analyzed and interpreted water samples for Nitrates, Nitrites, Chloride, Fluoride, Bacteria, Total Hardness, Alkalinity, pH, Turbidity, Biological Oxygen Demand, Chemical Oxygen Demand.

Education: B.S.-Water Resources and Soil Science, May 2010 University of Wisconsin-Stevens Point

WDNR Basic and Advanced Wetland Delineation Training Workshops

WDNR Critical Methods in Wetland Delineation Workshop

Completion of UW-La Crosse Grasses, Sedge & Rushes Workshop

Certified Environmental Inspector - Commonground University ASTM E1527-13 Phase 1 ESA

Completion of UW-Madison-WinSLAMM v.10.2 Meeting Urban Stormwater Management

Qualifications: Certified Professional Soil Scientist

WDNR Professionally Assured Wetland Delineator

Licensed Designer of Engineering Systems

Certified Environmental Inspector, Environmental Assessment Association

Certified Soil Tester, State of Wisconsin

Certified POWTS Inspector, State of Wisconsin

Licensed Pump Installer, State of Wisconsin

Section 17.204.54 NONMETALLIC MINING

Project: Glenn Zimmerman

Date: February 4, 2026

Location: NW1/4,SW1/4, of Section 21, T. 29N, R. 2E. Town of Holton, Marathon County, WI

Acres 48.0

Zoning – G-A (General Agriculture)

A. Aerial Photograph and Map.

1. The boundary of the affected parcel and any adjacent parcel, pipelines, railroads, streams, utilities, and wetlands on the proposed extraction site and any adjacent parcel.

See Attachment 1 in Reclamation Plan. There are no utility lines adjacent to the proposed Pit. Excavation will maintain a 500-foot setback from the nearest navigable waterway. Wetlands were delineated by Star Environmental, Inc., the pit was designed to avoid the natural wetland areas.

2. The name of the owner of each adjacent parcel and the location of all structures within 300 feet of the proposed mine site.

Please see Attachment 4 in Reclamation Plan.

3. The proposed location, extent, and depth of the intended sand, gravel, and rock excavation, showing the setback distances.

Proposed Depth of exaction varies between approximately 42 to 70 feet, or to elevation 1350. Historical test pits show this material is present. All mining activities, including berm location, will maintain a minimum 20-foot setback from "500-foot setback" and south property line and a 100 foot setback from the north and east property lines. See project maps Attachment 1 of the Reclamation Plan for proposed layout.

4. The proposed location of any ponds, sediment basins, and stockpiles showing the setback distances.

The entire pit will result in a pond. For initial earth moving, topsoil will be used to construct earth berms downslope of Phase 1. As mining expands, berms will continue to be constructed to contain stormwater runoff. Upslope diversions will be utilized to direct stormwater from undisturbed areas around mining areas. During excavation, all stockpiling will be confined within the project boundary to prevent siltation to the adjacent landscape. See Attachment 1, "Working Site Map" for operational detail.

5. The surface drainage and estimated depth to groundwater.

Surface water will drain to the west. Groundwater elevation will be similar to the surface water elevation of the nearby river, elevation 1370. See Attachment 1, "Cross Sections" for estimated groundwater elevations.

B. Operational Information.

1. The duration of any applicable lease.

NA. The project site will be operated by the Glenn Zimmerman.

2. The estimated date that operations will commence and terminate.

Mining operations are expected to commence in Spring 2026 and is expected to last for 25 years.

3. Anticipated hours of operation.

The project site will continue to operate between 6 AM and 6 PM which coincides with normal daylight hours in spring, summer, and fall.

Operations may occur of Saturdays.

4. The proposed primary travel routes to transport material to and from the site.

The material sourced from the project site is to be used for local construction projects. Access to the Quarry will be located on Fence Road. From Fence Road, the exact travel route will depend on the specific project's location.

5. A description of the excavation and processing equipment to be used.

The equipment used will be primarily a backhoe, haul truck, and a dozer for general grading, crusher and screener.

6. A description of measures to be taken to screen or buffer the operation from view from any adjacent residential parcel.

The property is located in a rural setting with very little residential properties present. The surrounding area is primarily used for agricultural purposes. The Quarry will maintain a 100-foot setback from Fence Road and Rosedale Avenue. Once mining commences in adjacent Phases, a vegetated earth berm will be constructed. Both the setback and berms will act as a screen or buffer from the road.

7. A description of measures to be taken to control dust, noise, and vibrations from the operation.

Operations will only take place during normal business hours. Noise produced at the site will be consistent with low volume loading and trucking movements with occasional crushing and blasting. Any concerns from neighbors will be dealt with in a respectful manner and managed appropriately.

C. Operation.

1. All blasting must be done by a state licensed and certified blaster, who must have a certificate of liability or proof of liability insurance.

Any blasting that occurs will be completed by a State Licensed and Certified Blaster with proof of insurance.

2. All excavation equipment must be constructed, maintained, and operated in such a manner as to eliminate, as practicable, dust, noise, or vibration that might adversely affect or injure any person living in the vicinity of the operation.

All equipment and activities will be conducted to ensure the safety of the workers and the public. Nuisances associated with noise will be minimal due to the hours of operation. Machinery used will be kept in good working condition. If a problem with a piece of machinery occurs, the machine will be taken offsite and repaired and not allowed to operate onsite until the problem has been resolved. The project area is off the road with minimal amount of residential area present minimizing disturbance to the local community.

3. Any excavation access road must have and be maintained with a dustless surface.

The access road will be maintained. Due to the shallow coarse rock present at this site, dust is not anticipated to be an issue. If dust does become an issue, water trucks can be used to spray the driveway.

4. Operations must be conducted in such a manner that any water runoff from the operation does not adversely affect any adjacent parcel.

The owner understands that stormwater control permit must be obtained with any land disturbance over 1 acre to ensure that topsoil disturbances and erosion (sedimentation) is controlled. Vegetated earth berms will be constructed to prevent stormwater runoff from leaving the site and upslope diversions will be used to route stormwater from undisturbed areas around the mine. Silt fence will be installed downslope of the vegetated earth berms to prevent siltation to the adjacent landscape.

5. All equipment and temporary structures, such as stone crusher, conveyor, or screener, must be removed from the site within 90 days of the termination of extraction operations.

All machinery and equipment will be removed within 90 days after final reclamation is complete.

D. Setback Requirements.

1. The excavation must be setback at least 100 feet from any existing occupied structure other than the owner's.

No structures are present within 100 feet.

2. All operations shall be at least 50 feet from the centerline of any right-of-way and 10 feet from any property line unless there is a written agreement between adjoining owners both of whom hold valid nonmetallic mining permits under which they both agree to mine up to their common property line. Mining up to or into the right-of-way may be authorized where it is determined by the unit of government having jurisdiction over the road that such mining would be beneficial.

Excavation will not occur within 50 feet of the center of the road.

3. All accessory uses such as offices and parking areas shall be at least 75 feet from any right-of-way or property line.

No offices are proposed. No road is within 75 feet of the project site.

- E. Nonmetallic mining shall comply with the terms of Marathon County Nonmetallic Mining Code, Chapter 21, General Code of Ordinances.

See attached Reclamation Plan.

- F. All nonmetallic mining shall be required to provide for the proper closure and reclamation of the extraction site to an agricultural use.

The pit will result in a wildlife and recreational pond at the completion of reclamation.

- G. Nonmetallic mining activity and operation shall be consistent with Wisconsin Statute, Chapter 91, Farmland Preservation, 91.46(6)

The pit will be consistent with State Statute.

Farmland Preservation Districts. Nonmetallic mineral extraction in Farmland Preservation Districts may be permitted if the all of the following apply:

- A. The operation complies with Subchapter 1 of Chapter 295, Wis. Stats., and rules promulgated under that subchapter, with General Code of Ordinances for Marathon County Chapter 21 Nonmetallic Mining Reclamation Code under Wis. Stats., 295.13 or Wis. Stats., 295.14, and general requirements standards under this section and provided the reclamation of the extraction site is to an agricultural use (including all applicable provisions of this ordinance), and with any applicable requirements of the Wisconsin Department of Transportation concerning the restoration of nonmetallic mining sites.

N/A. The site is not located in a Farmland Preservation District

- B. The operation and its location in the Farmland Preservation zoning district are consistent with the purposes of the Farmland Preservation zoning district.

N/A. The site is not located in a Farmland Preservation District

- C. The operation and its location in the Farmland Preservation zoning district are reasonable and appropriate, considering alternative locations outside the Farmland Preservation zoning district, or are specifically approved under state or federal law.

N/A. The site is not located in a Farmland Preservation District

- D. The operation is reasonably designed to minimize the conversion of land around the extraction site from agricultural use or open space use.

N/A. The site is not located in a Farmland Preservation District

- E. The operation does not substantially impair or limit the current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.

N/A. The site is not located in a Farmland Preservation District

- F. The owner agrees to restore the land to agricultural use, consistent with any required reclamation plan, when extraction is completed.

N/A. The site is not located in a Farmland Preservation District



Marathon County Uniform Site Address Application

Required per the General Code of Ordinances for Marathon County

Date: January 1, 2026 Applicant Name: Zimmerman Construction Phone: 715-229-4782

Owner Name (if different): Glenn Zimmerman Email: NA * for notification of new address

Mailing Address (to send property address): N12737 Resewood Ave City: Greenwood ST: WI Zip: 54437

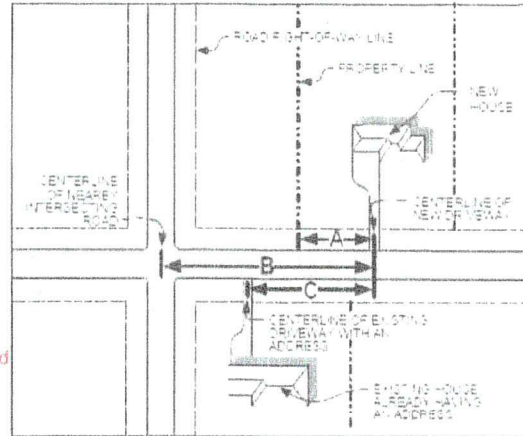
Pin ID # (from tax statement, 3 digits, 4 digits, 3 digits, 4 digits): 042 - 2902 - 211 - 0998 *required field*

Town Name: Holton Location: NW 1/4 NE 1/4, Sec: 21, Town 29 North, Range 02 East Subdivision: _____ Lot: _____

Driveway Permit # (State, County or Town) Date Issued (required for new access on State Highways and County Roads) / Towns (if required)
Landowner contacted the Town of Holton Clerk for culvert/driveway permit. Informed that the Town doesn't permit the driveway installation.

The drawing to the right illustrates three types of measurements, any one of which is a measurement that can be used to assign a new address.

- "A" is the measurement from the centerline of a new driveway to a property line on the property. 100 ft west from parcel line
- "B" is the measurement from the centerline of a new driveway to the centerline of a nearby intersecting road. 1450 ft to intersection of Fence Rd and Rosedale Ave
- "C" is the measurement from the centerline of a new driveway to the centerline of the driveway of an existing residence (or other structure) that already has an assigned address. 150 ft east from existing field road



Please read carefully.

INACCURATE INFORMATION MAY RESULT IN SITE ADDRESS CHANGES.

*Applicant must submit a **detailed drawing*** showing proposed /present driveway and building location, if applicable, in relation to A, B, or C. Include actual distances (not guesses) from property lines, road intersection, or the closest neighbor's driveway which is addressed. The more accurate the provided information the easier and quicker it will be to provide you with an accurate site address. Applicants may use the reverse of this page to create a **scaled plan**. Parcel mapping and aerial photographs are available at Conservation, Planning and Zoning Department or on the County [on-line mapping webpage](#):

Description of any **current or future structures** located on the property. (examples include, but are not limited to, house, cabin, mobile home, pole shed, garage, barn, cell tower.) Structure type(s): NA

Road Name that the new/existing driveway will access: _____

A. The driveway is 100 feet from the (check one) North South East West property line.

B. The driveway is 1450 feet from intersection of Fence Rd/Rosedale Ave Road Name

C. Driveway location for new address is _____ Feet (check one) North South East West of Address _____ Located on _____

Fee: ~~\$71.00~~ please make payable to: Marathon County 85.00

Note: An additional charge of \$30.00 will be assessed for shared driveways for an additional sign. *Glenn Zimmerman*

OFFICE USE ONLY:

New Property Address: 104155 FENCE RD

City ABBOTSFORD State WI ZIP 54405

Issued By: ALEXANDRA PEACOCK Date 1/14/2026

Conservation, Planning, and Zoning Department
Alexandra Peacock, GIS Specialist
1100 Lake View Drive, Suite 400
Wausau, WI 54403

Telephone: 715-261-6041

Email

Alexandra.peacock@marathoncounty.gov

RECEIVED

JAN 13 2026

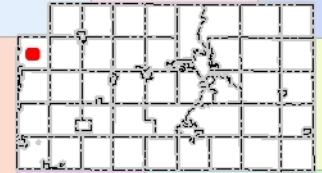
MARATHON CO. CONSERVATION,
PLANNING & ZONING DEPT.



Land Information Mapping System

TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

354.51 0 354.51 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

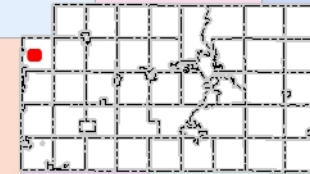
Notes



Land Information Mapping System

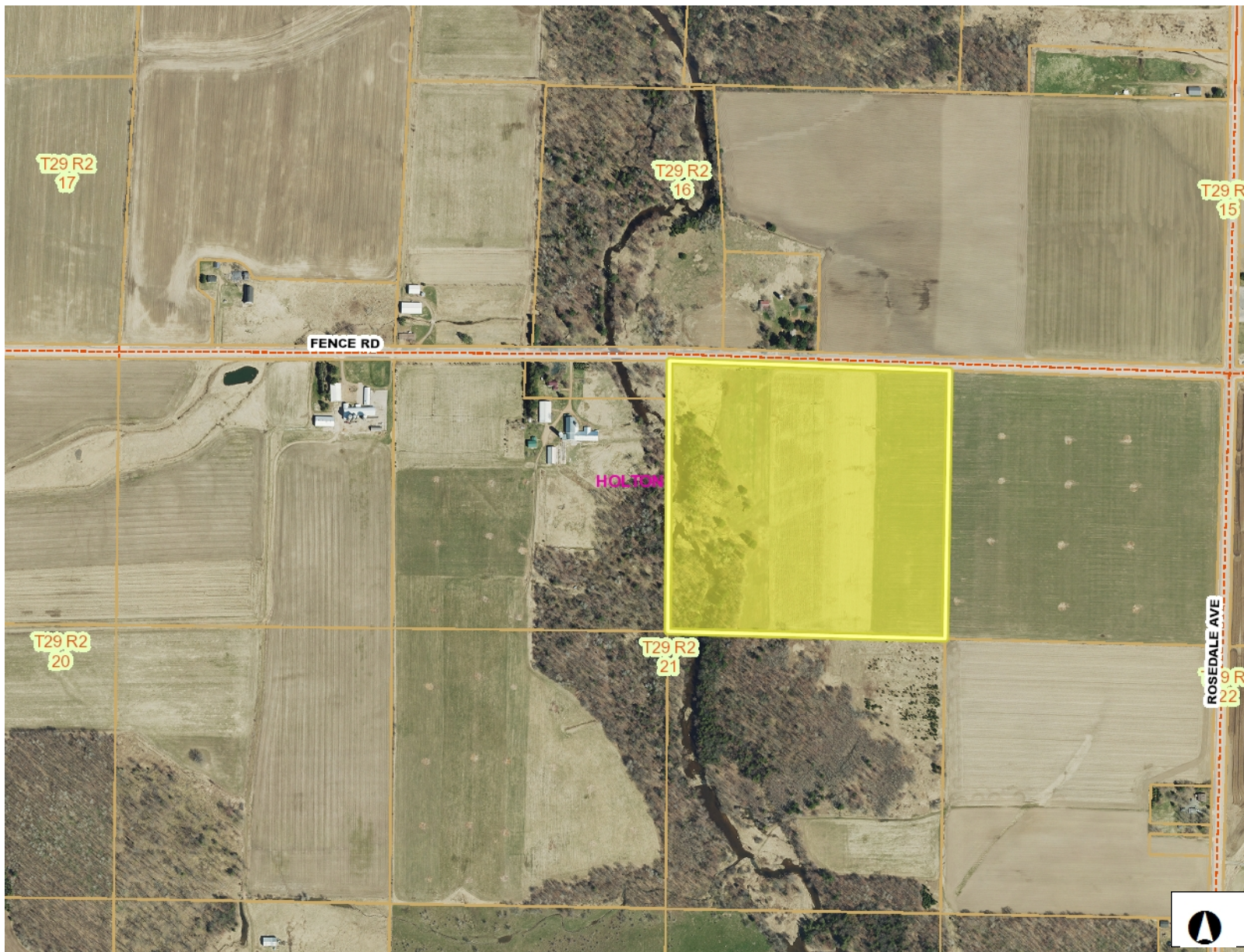
TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

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- Parcels
- Parcel Lot Lines
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357.72 0 357.72 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

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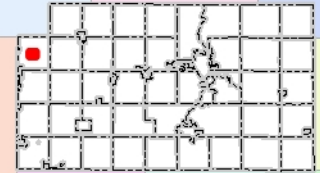




Land Information Mapping System

TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

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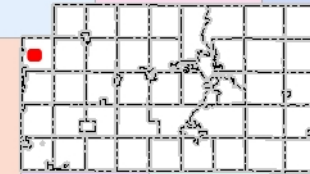
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Land Information Mapping System

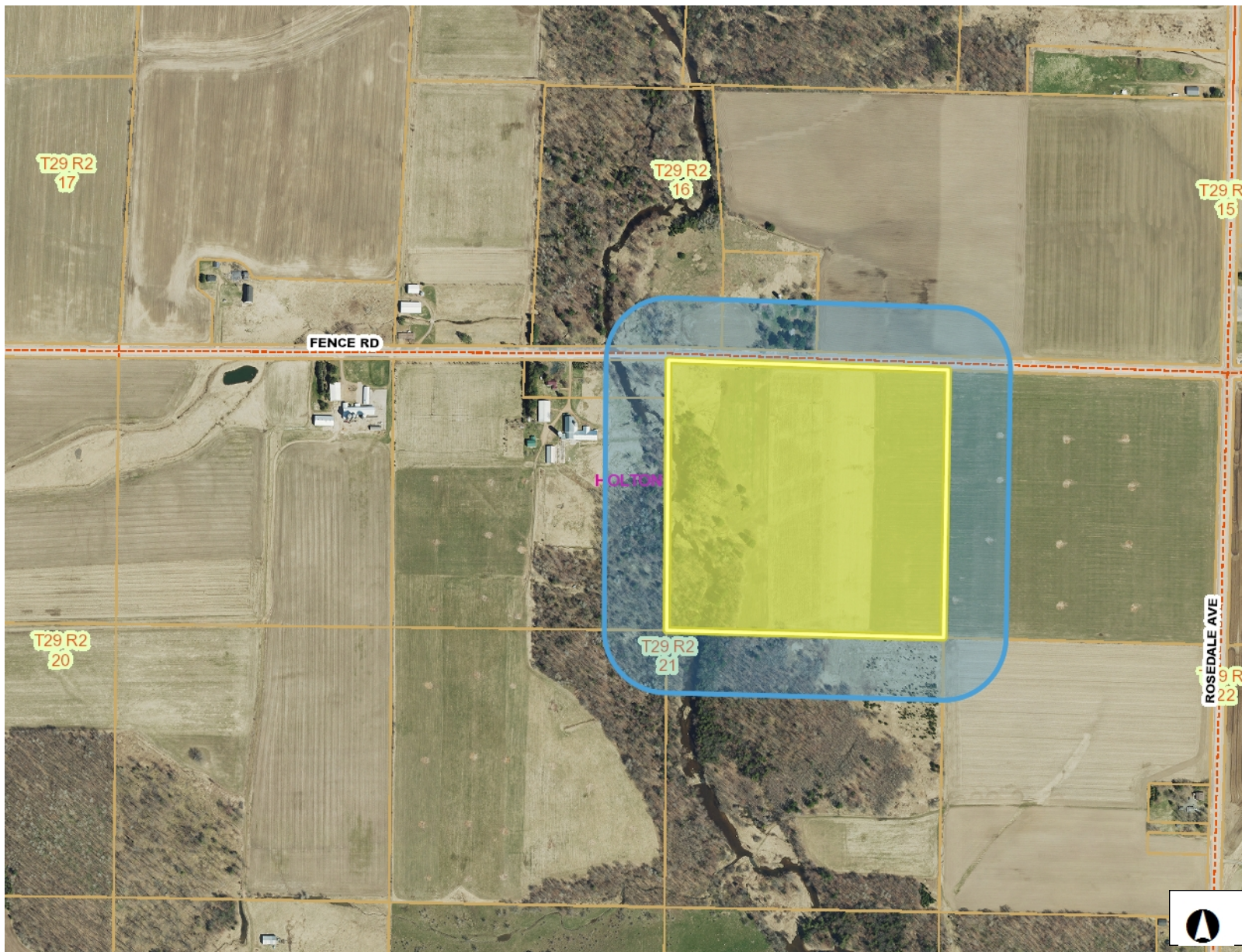
TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

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 - Parcels
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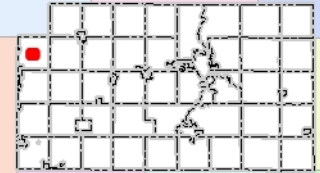
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Land Information Mapping System

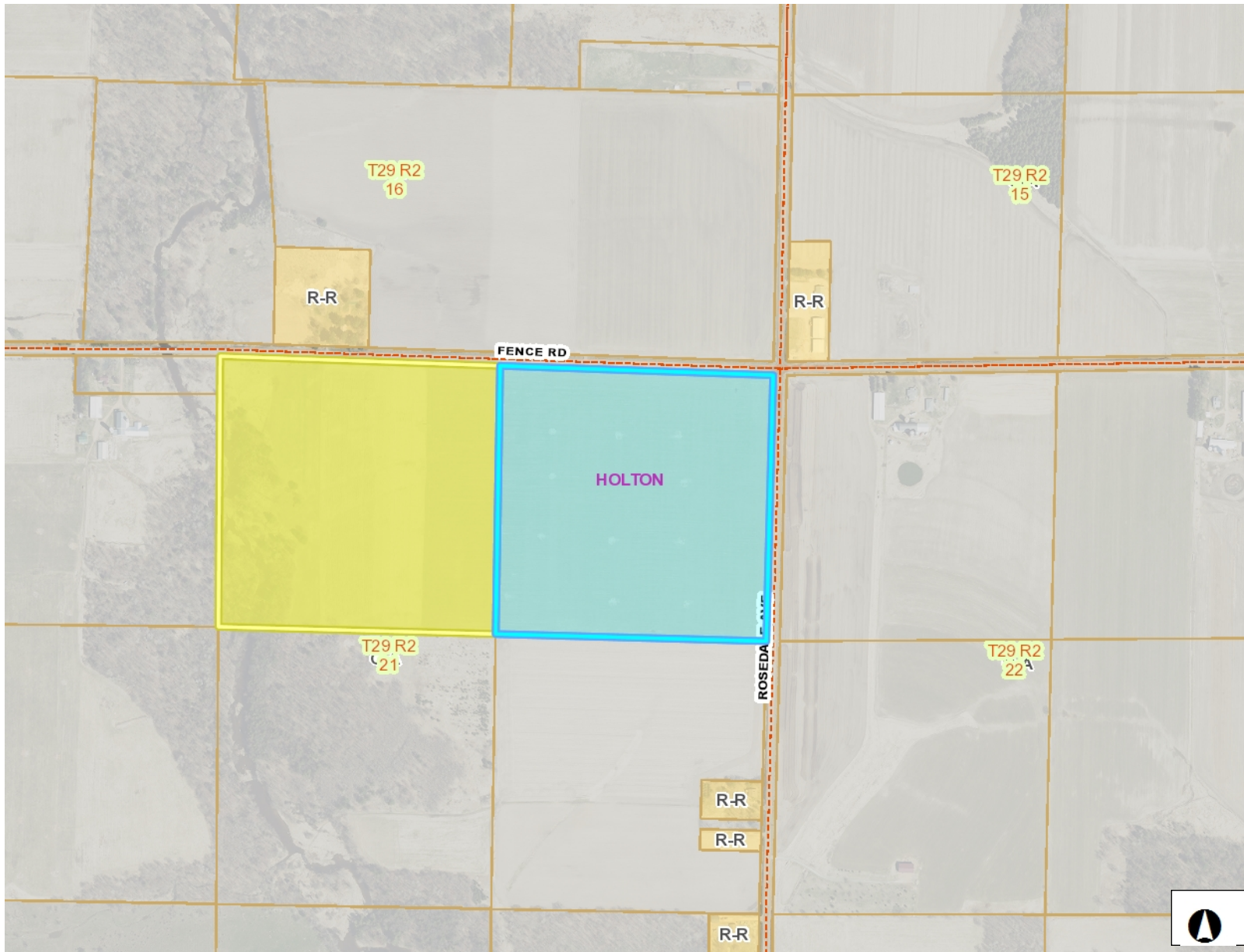
TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- County Zoning ZCR
 - U-R (Urban Residential)
 - L-D-R (Low Density Residential)
 - R-R (Rural Residential)
 - R-E (Rural Estate)
 - M-H (Manufactured/Mobile Home Park)
 - C (Commercial Regional)
 - N-C (Neighborhood Commercial)
 - B-R (Business Regional)
 - L-I (Light Industrial)
 - H-I (Heavy Industrial)
 - G-A (General Agriculture)
 - F-P (Farmland Preservation)
 - C-V/R-C (Conservancy & Recreation)
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357.72 0 357.72 Feet



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Notes

Town of Holton Evidence for Denial

STATE OF WISCONSIN)
MARATHON COUNTY)
TOWN OF HOLTON)

TOWN RESOLUTION OF RECOMENDATION

TO THE MARATHON COUNTY BOARD OF ADJUSTMENT

I, Taylor Ensign, Clerk of the Town of Holton, Marathon County, State of Wisconsin, do hereby certify that the following is a true and correct copy of a resolution adopted by the Town of Holton Town Board at a meeting held on the 14th day of April, 2026.

RESOLUTION

WHEREAS, the Marathon County Board of Adjustment is established for the purpose of hearing certain appeals, applications and granting variances in harmony with the general purpose and intent of land use regulations, and

WHEREAS, such a hearing is scheduled to come before the Board affecting lands within the Town of Holton.

NOW, THEREFORE BE IT RESOLVED that the Town of Holton Town Board considered on the 14th day of April, 2026, the application of: Glenn Zimmerman, for a conditional use permit per 17.204.54 "Nonmetallic Mining" of the General Code of Ordinances for Marathon County Chapter 17 Zoning Code, for the purpose of establishing a 48 acre nonmetallic mining operation (quarry) on properties currently owned by Glenn & Alta Zimmerman. The properties are located in the G-A General Agricultural district, on parcels described as N ¼, NE ¼, and NW ¼, NE ¼ Section 21, T29N, R2E Town of Holton, further described as PIN# 042.2902.211.0999 and 042.2902.211.0998 with site address 104155 Fence Road, Abbotsford, WI 54405, and hereby recommends:

Marathon County Board of Adjustment **APPROVE** application

Marathon County Board of Adjustment **DENY** application

Comments, conditions and reasons for recommended action:

Please see attachment for complete basis of determination, referenced pages, conclusion, and topics for consideration.

Clerk Taylor Ensign
Town Board Dennis Densky
Pat Tucker

NOTE: If you recommend disapproval of this request, please make every effort to send a representative to the Board of Adjustment Public Hearing. Town input at the hearing is always appreciated. Please return this form before March 12th, 2026 to:

Board of Adjustment
Marathon County Conservation, Planning and Zoning Department
1100 Lake View Drive, Suite 400
Wausau, WI 54403

Section 17.803.03 BASIS OF DETERMINATION

A. Conformance with Requirements. The applicant shall be required to establish by clear and convincing evidence that the applicable standards of this Chapter, the specific standards pertinent to each conditional use, including site plan review criteria set forth for applicable site development standards for specific uses set forth elsewhere in this Chapter (refer to Chapter 17.204, Development Standards for Specific Uses) have been met.

B. General Standards. The Board of Adjustment shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards:

1. Compatibility with Adjacent Uses. The proposed conditional use shall be designed, constructed, operated and maintained to be compatible with uses on surrounding land. The site design shall minimize the impact of site activity on surrounding properties. In determining whether this requirement has been met, consideration shall be given to:
 - a. The location and screening of vehicular circulation and parking areas in relation to surrounding development.
 - b. The location and screening of outdoor storage, outdoor activity or work areas, and mechanical equipment in relation to surrounding development.
 - c. The hours of operation of the proposed use. Approval of a conditional use may be conditioned upon operation within specified hours considered appropriate to ensure minimal impact on surrounding uses.
 - d. The bulk, placement, and materials of construction of the proposed use in relation to surrounding uses.

Please see attachment

2. Comprehensive Plan. The proposed conditional use will be harmonious with and in accordance with the general objectives or with any specific objective of the town and county comprehensive plan.

Please see attachment

3. Compliance with Applicable Regulations. The proposed conditional use shall be in compliance with all applicable federal, state, and local laws and ordinances.

Please see attachment

4. Use of Adjacent Property. The proposed conditional use shall not interfere with the use and enjoyment of adjacent property.

Please see attachment

5. Public Services. The proposed conditional use will be served adequately by essential public facilities and services including but not necessarily limited to utilities, highways, streets, police and fire protection, drainage structures, refuse disposal, and school(s); unless the project proposal contains an acceptable plan for providing necessary services or evidence that such services will be available by the time the conditional use is completed.

Please see attachment

ATTACHMENT TO TOWN OF HOLTON RESOLUTION OF RECOMMENDATION ON
CONDITIONAL USE PERMIT APPLICATION FOR NONMETALLIC MINING MADE BY
ZIMMERMAN CONSTRUCTION – EXCAVATION

The Town resolution is to DENY the application.

The Town does not find that the applicant has presented appropriate clear and convincing evidence as is required by the County application.

A. Conformance with Requirements:

The applicant “Zimmerman Construction – Excavating” is not an actual entity listed at the Wisconsin Department of Financial Institutions.

Marathon County GIS indicates owners of the land are Glenn H. Zimmerman and Alta S. Zimmerman, which is not indicated on the application.

There cannot be an application without an appropriate applicant. See County Code § 17.803.02.B.

B. General Standards

1. Compatibility with adjacent uses.

- a. No information is given.
- b. No information is given.
- c. No information is given. The reclamation plan states “6 am to 6 pm Monday through Friday with occasional Saturdays.” Reclamation is not an operations plan.
- d. No information is given.

2. Comprehensive Plan(s).

From the Town Comprehensive Plan, available at:

<https://www.marathoncounty.gov/home/showpublisheddocument/1626/638181302429330000>

There is currently zero (0) acreage in the Town devoted to mining operations. Page 19. Therefore, this requires a precautionary approach as it represents a substantial change for the Town.

The subject area is identified in the Town’s comprehensive plan as a “Priority Watersheds as identified in the Marathon County Land & Water Resource Management Plan.” Page 68. Yet the proposal is to dig a pit next to a river.

The development is not consistent with the Marathon County Guiding Principles goal no. 2 “Preserve Working Agriculture.” Page 110. According to the proposal, this land will never be put back into working agriculture.

The future land use of the subject property is intended to be “Crop Land.” Page 129. The proposal is inconsistent in that it intends to permanently remove the subject property from being crop land.

The subject property is serviced by unimproved roads. Page 134. There is no infrastructure now or available in the future to service this singular island necessitating extremely high use.

From the County Farmland Preservation Plan, available at:
www.marathoncounty.gov/home/showpublisheddocument/13565/638591402420100000

The subject area is currently within an Agricultural Enterprise Area. Page 61.

The subject area is intended for farmland preservation. Page 145.

In summary: the proposed nonmetallic mining operation represents a stark change that is not harmonious, in accordance with, or consistent with town and county comprehensive plans.

3. Compliance with Applicable Regulations.

Unable to determine due to the incomplete application.

4. Use of Adjacent Property.

Unable to determine due to the incomplete application. However, the proposed use is highly unlikely not to interfere with the use and enjoyment of adjacent property, which is open rural land for farming and hunting.

5. Public Services.

Unable to determine due to the incomplete application. However, it is highly unlikely that the current unimproved road conditions will support this operation.

See referenced pages attached.

Based on the submitted, incomplete information, the Town has resolved to DENY this proposed conditional use permit. However, even with complete information, the Town would be unlikely to support this proposal because it represents a significant departure from the current adjacent land uses, could not be properly supported by necessary infrastructure, and is inconsistent with all Town and County planning for the area.

With the application being this incomplete, it is difficult for the Town to consider appropriate conditions at this time.

If the applicant decides to complete and resubmit the application, the Town asks the County to let the Town consider it again, especially as to potential conditions.

It is apparent to the Town that it will need appropriate conditions on at least the following topics:

1. Designated haul route specifications to be determined after baseline data has been analyzed by a focus group.
2. Possible \$100,000 bond for road maintenance and dust control.
3. Dust control for haul route supplied by operator annually.
4. Baseline and Bi-Annual well water testing for any well within 1 air mile with any recovery to baseline specifications to be paid by the operator.
5. Permits to be re-considered/re-evaluated/re-applied with change of ownership of the operating company or the land owner.

Thank you.

Wisconsin.Gov



State of Wisconsin
Department of Financial Institutions

Search for:

zimmerman construction

Search Records

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Corporate Records9 records for **zimmerman construction**. (0.03 s, at 4/7/2026 9:59 AM)

ID	Entity Name / Type	Registered Effective Date	Status / Status Date
Z004659	ZIMMERMAN CONSTRUCTION LLC 12 - Domestic Limited Liability Company	01/31/2011	Administratively Dissolved 03/16/2022
Z003784	ADAM ZIMMERMAN CONSTRUCTION LLC 12 - Domestic Limited Liability Company	08/08/2005	Administratively Dissolved 09/10/2013
Z003539	DAVE ZIMMERMAN CONSTRUCTION LLC 12 - Domestic Limited Liability Company	03/30/2004	Administratively Dissolved 08/11/2010
1Z00742	J. C. ZIMMERMAN CONSTRUCTION CORP. 01 - Domestic Business	02/26/1974	Dissolved 11/25/1986
Z003315	JIM ZIMMERMAN CONSTRUCTION REAL ESTATE, L.L.C. 12 - Domestic Limited Liability Company	11/11/2002	Delinquent 10/01/2025
Z003233	L. R. ZIMMERMAN CONSTRUCTION, LLC 12 - Domestic Limited Liability Company	05/15/2002	Administratively Dissolved 11/09/2011
Z008791	ZIMMERMAN SIDING AND CONSTRUCTION LLC 12 - Domestic Limited Liability Company	11/27/2025	Organized 11/27/2025
Z007667	ZIMMERMANN CONSTRUCTION INC. 01 - Domestic Business	01/03/2023	Dissolved 03/23/2023
1Z01063	ZIMMERMANN CONSTRUCTION, INC. 01 - Domestic Business	02/22/1984	Administratively Dissolved 03/16/2010

Table 4-1: Land Use Cover Classification, 2000

Land Cover Category	Description	Acres	% of Total Land Area
Single Family Residential	One family structures, farm residences, mobile homes	816	4
Multi-Family Residential	Multiple family structures with three or more households, condos, duplexes, apartments	0	--
Commercial Services	Retail stores, taverns, restaurants, truck stops, gas stations, farm coops, farm implement dealerships, automobile dealerships, business offices, motels/hotels, offices, telephone/gas company	24	--
Industrial	Saw/paper/lumber mills, dairies, industrial parks, trucking operations, distribution centers	9	--
Quarries/Gravel Pits	Mining operations	0	--
Cropland	Tilled agriculture, prime farmland	15,187	69
Specialty Crops	Ginseng, orchards, vineyards, nurseries, groves, cranberries, etc.	65	--
Other Agriculture	Fallow, pasture and undetermined agriculture, power lines and towers, water towers, municipal wells	1,126	5
Public/Quasi-Public	Schools, churches, cemeteries, town halls, fire departments, National Guard	5	--
Recreation	Ball fields, golf courses, playgrounds, parks, trails, camp grounds, shooting ranges	5	--
Woodlands	Forested land	1,830	8
Water	Open waters, such as lakes, ponds, streams, rivers, creeks, reservoirs	194	1
Transportation	Airports, highways, road right-of-ways, railroads, logging roads	536	2
Barren Land	Unused open land in wooded areas, along streams, along roadsides	17	--
Total Land Area			100%

Source: 2000 Marathon County Land Use Cover Database

Current Land Use Plans and Regulations

Land Use Plan – The Town of Holton does not currently have a land use plan in place.

Zoning – Marathon County regulates zoning within the Town of Holton’s borders. Figure 4-2 illustrates the existing pattern of zoning in the Town.

Shoreland Zoning – Shoreland, shoreland wetlands, and floodplain regulations are applicable in all geographic areas of the County. Wisconsin law mandates Counties to adopt and administer a zoning ordinance that regulates land use in shoreland/wetland and floodplain areas for the entire are of the County outside of villages and cities. This ordinance supersedes any Town ordinance, unless a Town ordinance is more restrictive. The shoreland/wetland and floodplain area covered under this zoning is the area that lies within 1,000 feet of a lake and within 300 feet of a navigable stream or to the landward side of a floodplain, whichever distance is greater.

Farmland Preservation Program – The State of Wisconsin has a Farmland Preservation Tax Credit Program. The goals of the program are twofold: to preserve Wisconsin farmland by means of local land use planning and soil conservation practices and to provide property tax relief to farmland owners. Landowners keeping land in agricultural use can claim a credit on their State income tax by obtaining a zoning certificate, if the land is exclusive agriculture zoned (8 towns in Marathon County), or sign contract with the State. The program requires that a landowner be a Wisconsin resident, own a minimum of 35 or more acres of contiguous land, and produce gross farm

Appendix B

Marathon County Guiding Principles

Participants in the Marathon County comprehensive planning process worked cooperatively, through several meetings with sub-area groups, to develop a set of guiding principles that describe broad characteristics of a desired future for their communities and Marathon County. The guiding principles consist of a series of statements that reflect shared values and priorities regarding future growth and development. These principles were used to provide a general frame of reference for developing local goals and objectives. The ten guiding principles include:

- 1. Respect Local Governance** - Planning in Marathon County should build on local town, village and city government as a system that is unique, has served residents well, and is a strong component of local identity.
- 2. Preserve Working Agriculture** - Agriculture has been central to the culture and economy of Marathon County for over 100 years. Farming has been a way of life for generations of county residents and is fundamental to both community and individual identity. Efforts such as protecting prime farmland from development, exploring niche markets, and supporting cooperative practices can be implemented at the local level to help maintain and preserve working agriculture.
- 3. Maintain a Sense of Place** - As Marathon County's population grows and changes, communities will need to ensure that important physical features, buildings, and landscapes that exemplify their local identity are retained.
- 4. Preserve Rural Character** - Shifts in the farm economy and urban expansion are altering the County's rural landscape characterized by working farms, woodlands, rolling hills, marsh areas, and plentiful water bodies. As open spaces, farms, and woodlands are being lost or fragmented by development, Marathon County communities will need to make some important choices in order to preserve the qualities and character of the rural landscape.
- 5. Safeguard Natural Resources** - Marathon County is graced with abundant natural resources including numerous rivers, wetlands, forests, and wildlife. Careful stewardship of natural resources is essential to protect against fragmentation and degradation and ensure these resources continue to contribute to the ecology, character, quality of life, and economy of Marathon County into the future.
- 6. Foster Managed Growth and Coordinated Development** - Managing growth is important to ensure that no area is overwhelmed by development, land use conflicts are minimized, and development occurs in a quality manner that minimizes impacts on natural resources. Managing growth requires coordination of land uses and infrastructure, within and between communities, and recognizes that high quality growth in any one community will benefit surrounding communities as well.
- 7. Cost-Effective and Efficient Provision of Public Services** - Marathon County residents are clear in their desire to keep local taxes reasonable. One of the most effective

These features provide a sense of heritage and continuity that contribute to a community's identity and sense of place.

- Single Family Residential
- Commercial
- Commercial/Industrial
- Industrial
- Barren
- Crop Land
- Other Agriculture
- Forest Land
- Public/Quasi-Public
- Recreational
- Transportation
- Water

Indicates other Municipality
 Map Developed by Marathon County CPZ & GIS 2005

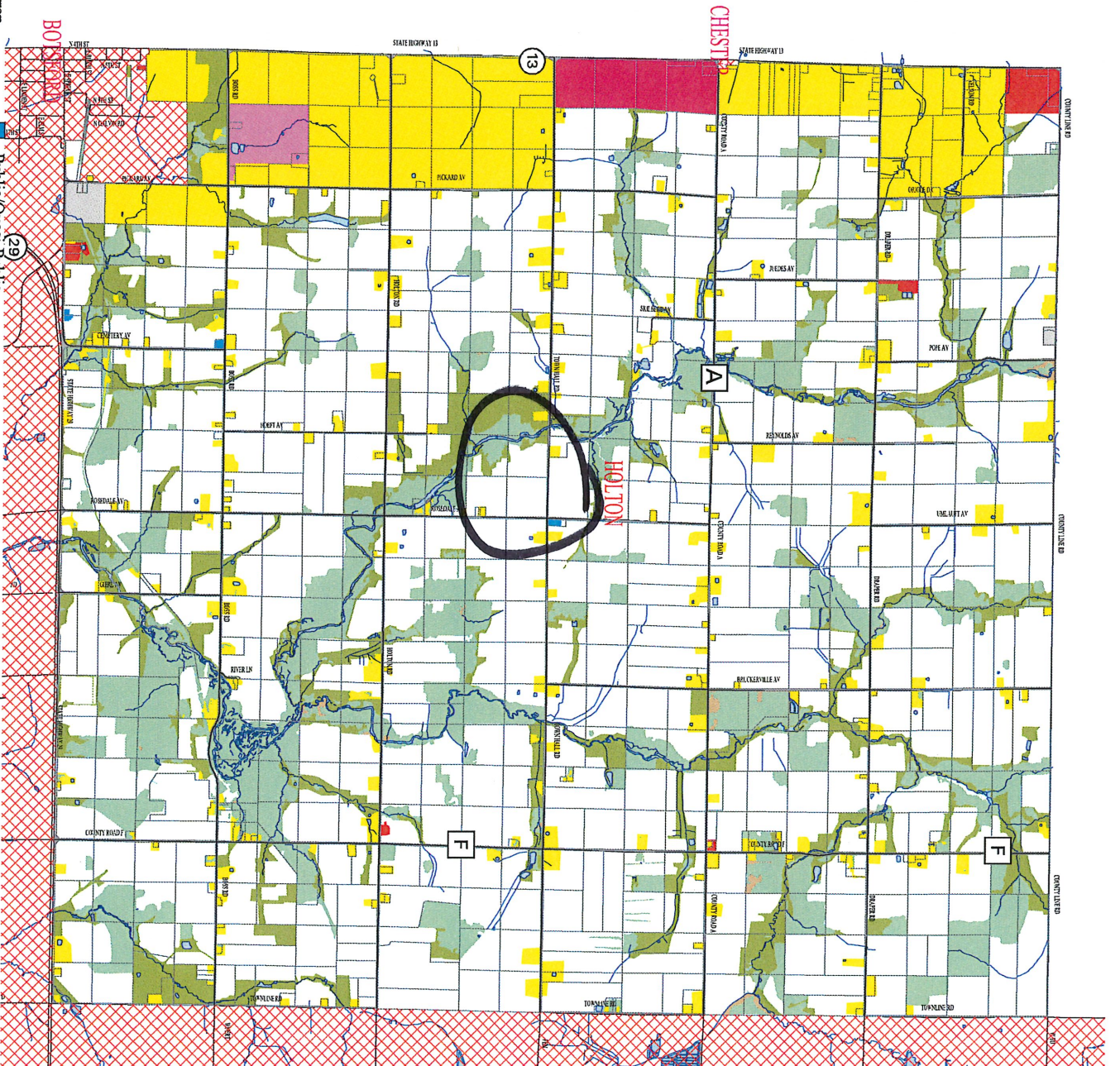


Figure 3-1
 Future Land Use
 HOLTON

- No Data
- Concrete Pavement
- ◁ 1" Wearing Surface
- Asphalt Pavement
- ◊ Asphalt Pavement on Concrete
- ◊ Asphalt Pavement with Base > 7"
- ◊ Asphalt Pavement With Base < 7"
- Unimproved Road

◊ Indicates other Municipality
 Map Developed by Marathon County CPZ & GIS 2005

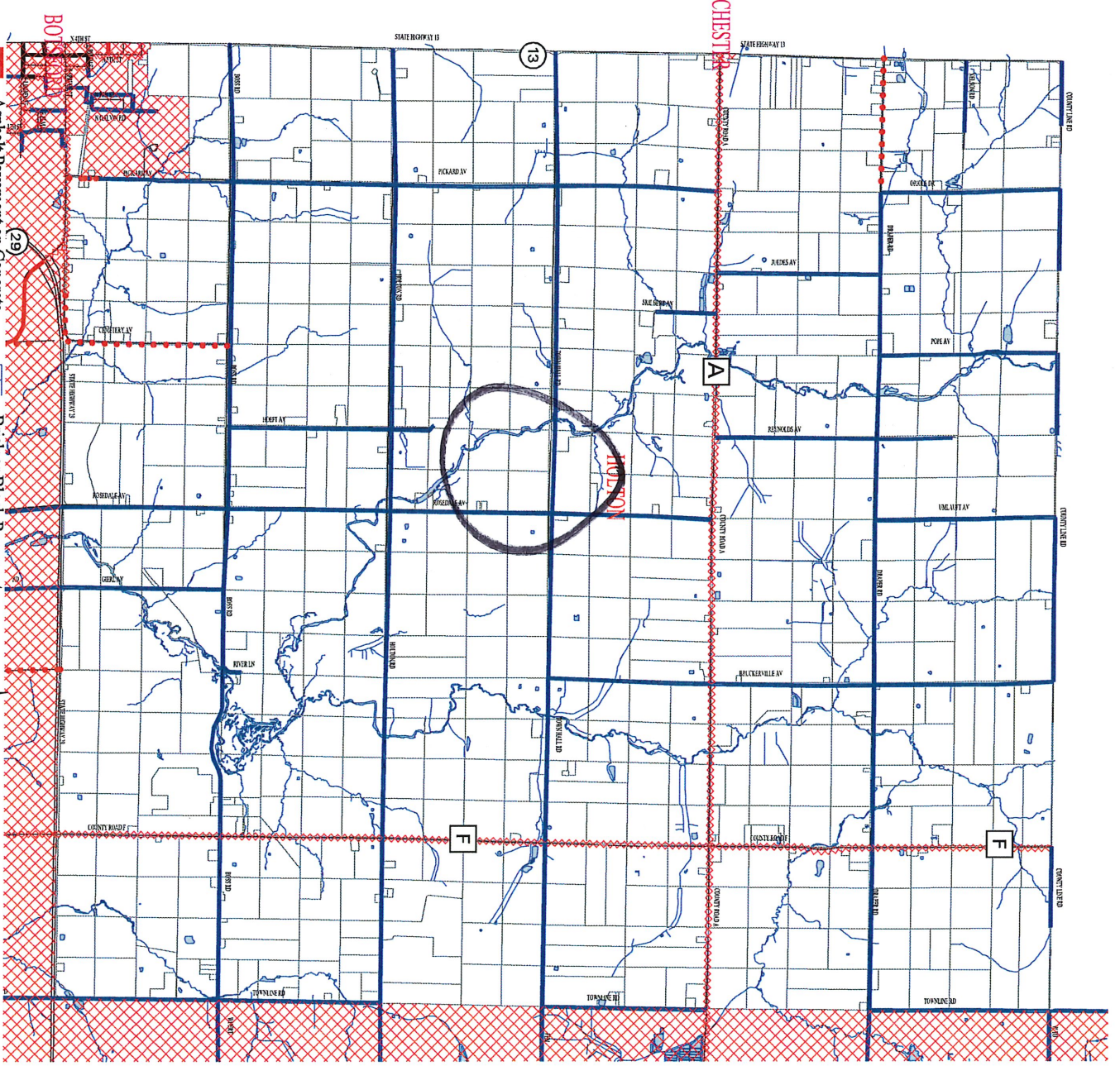
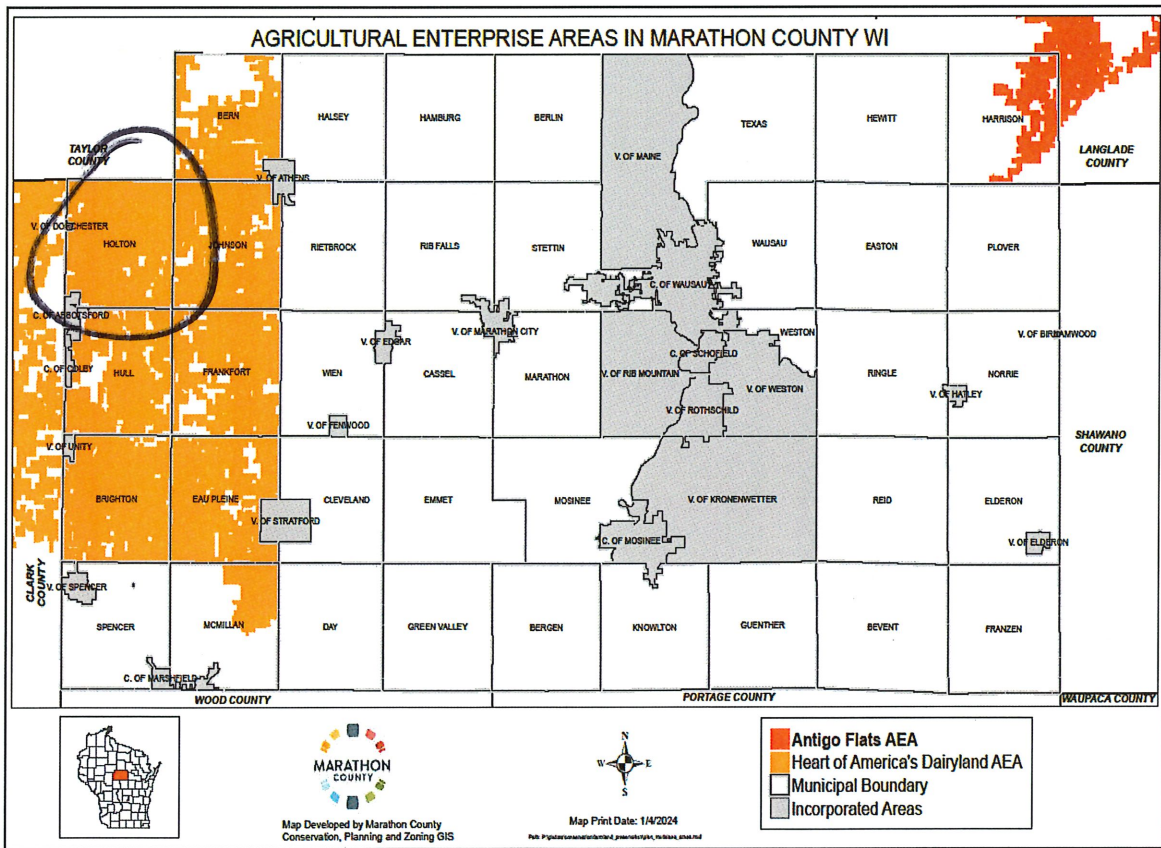


Figure 4-3
 Road Surface Types
 HOLTON

Agricultural Enterprise Areas (AEAs)

An Agricultural Enterprise Area is a designated area of contiguous land devoted primarily to agricultural use and locally targeted for agricultural preservation and agricultural development. AEAs preserve areas considered most valuable for current and future agricultural use, promote the development of agricultural businesses, and provide eligibility to agricultural landowners for tax credits through Farmland Preservation Agreements. Marathon County supports the focused development of agricultural enterprises in these areas, will work to minimize incompatible development through implementation of the land use policies in this Plan, and will ensure that its other actions within AEAs are compatible with this designation. The County also supports the expansion of existing AEAs and the creation of additional AEAs where consistent with this Plan, and where there is sufficient town government and landowner initiative to expand or create an AEA. Proposed AEAs must meet the criteria identified in Chapter 91.84, WI Statutes. Map 8-2 shows the current AEA's in Marathon County.



Map 8-2: Agricultural Enterprise Areas in Marathon County

Letters submitted by the Town
of Holton and their residents.



Taylor Ensign <clerk@townofholton.wi.gov>

Gravel pit Stipulations

ssprotte@tds.net <ssprotte@tds.net>

Thu, Mar 12, 2026 at 6:39 PM

To: clerk@townofholton.wi.gov, sproteststephen <sproteststephen@gmail.com>

To the town board of Holton

these are a few things I think should be requirments for the gravel pit

1. The route of travel to and from the pit should be on Rosedale to Cty Hwy A
2. The owner / operator will be responsible for maintaining that road. To include Granite and dust control this includes up too the entrance of the pit
3. All wells within 1 mile of pit will be tested for quality before operations start. To establish a base line for future tests.
4. Hrs of operation 6:30 Am to 6:00 pm Mon thru Fri. 7:00 to 2:00 on Sat and absolutely No Sun. To include hauling of product.

This is some of my suggestions for the board to include in their proposal. I hope this helps you in your decisions

Town of Holton Resident Steve Sprotte 106824 Fence Rd Abbotsford Wi.

Good Day,

My name is Sarah Rankl, and I am the owner of 103936 Fence Road, Abbotsford, WI. I am writing to formally express my opposition to Mr. Zimmerman's proposed mine. The site is located directly across the road from my property—a home that has been in my family since 1893. Established by my grandfather's uncle, the property was eventually passed to my grandfather, then to my father (who passed away in the home last year), and now to me. This house is all that remains of our original family farm, and we are committed to keeping it in the family.

My property is located in the Town of Holton, within an Agricultural Enterprise Area established in 2011. Mr. Zimmerman purchased his land in 2018, and it is currently zoned for agricultural use. According to the Marathon County Comprehensive Zoning Plan, zoning ordinances are designed to minimize undesirable side effects by segregating or buffering incompatible uses. They are intended to maintain standards that ensure development does not negatively impact the community's character or environment.

It is my position that a gravel mine will have a significant negative impact on this community and our property values. This area should remain dedicated to agricultural preservation by minimizing non-agricultural development on agricultural soil and maintaining the integrity of agricultural economic clusters, as it has for generations.

While the Town Board of Holton has applied conditions regarding noise, dust, and road use, these measures feel largely symbolic. It remains unclear what enforcement mechanisms are in place should the operation fail to follow these guidelines. The Town of Holton has approved Mr. Zimmerman's request to his benefit, but to the detriment of myself and the other residents in this community. We will be faced with diminished property values and the daily disruptions of a mining operation without any form of compensation or protection.

I am asking the Marathon County Board of Adjustment to support and protect our community by denying this permit.

TO: Marathon County Board of Adjustment

Non Metallic Mining Permit Application Glenn Zimmerman Town of Holton

Impact on Public Health, Safety, Comfort and Welfare of the residents of Marathon County (page 1 Marathon County General Code of Ordinances Chapter 17 – Zoning Code)

1. Impact of Mining Industry on Property Values. Who would buy property at the current value after the mine is operating? Who will make up the dollar difference, residents will be losing-NO ONE. The loss of tax revenue on decreased values will affect all Holtons residents.
2. Who will monitor that the trucking will use a designated route **DAILY**?
NO ONE
3. Who will be monitoring the **daily** air quality, dust effect, noise (under 85 decibels), Radiation (Geiger counter)-NO ONE! Yet residents will deal with the effects **DAILY!**

Quality of Life will certainly decrease. Air Pollution will certainly become a problem-breathing, cookouts, Laundry outside, open windows, dust on windows, roof, lawn furniture- all will be non-existent or a problem.

What about people with Allergies, Asthma, COPD?

There are always winners and losers- In this instance, 1 winner and many losers if approved! One winner will go home in Greenwood while Holton Deals with the Consequences.

Who will be monitoring DAILY Operations?

Who will be testing DAILY Air Quality?

Who will be testing DAILY for Radioactivity?

Who will be monitoring hauling truck & equipment stay one the designated route DAILY?

Who will be monitoring DAILY Noise level?

Who will be monitoring the Wetlands for DAILY violations?

NO ONE except the residents that will be forced to accept this mine-Endangering their quality of life Daily, Lowering the value of their property, living with the DAILY Vibrations, Toxic Dust, Smoke, Soot, Noise, Blasting, Grinding, Crushing, Traffic associated with the mine! At the end of the day Applicant Zimmerman, who purchased Farmland, will go home to Greenwood & leave this devastation to the Town of Holton Residents.

Richard Glumz - Former Town of
Holton
Chair!
Former Marathon County Board Member
16 years!

TO: Marathon County Board of Adjustment

Regarding Applicant Zimmerman Mining Permit

Town of Holton is primarily Agricultural, much designated as cropland, except for the woodland areas located along the East & West branches of the Big Eau Pleine River. (Page 12 Town of Holton Comprehensive Plan).

Prime farmland is relatively uniform through Holton. Holton has farmland preservation contracts. Holton has many acres set aside in these contracts, one of the highest acreages for any town in the county.

Our goal in Holtons Comprehensive Plan is to preserve agriculture. (pg 13)
We have 15,187 acres tilled in agriculture prime farmland and 1,126 acres of pastures, 194 acres of open waters- such as lakes, ponds, streams, rivers, creeks, reservoirs—Why have a gravel pit to contaminate these waters???

Dust is toxic to residents that have asthma or lung diseases. Noise from mining for any hard of hearing resident is difficult. Noise scares the horses while they are hauling Amish children on their way to school.

Blasting Fallout is dangerous to neighboring windows, affecting all the houses in the area.

Organic Farmers (like the Amish and Charlie Wellner) sell produce to the Public will now have the toxic dust on the produce.

Janice Gurny
Town of Holton
former member
Comprehensive

104844 County Rd A
Dorchester WI 54425

of the Town of Holton
Plan

When Smart Growth Planning , (Comprehensive Plan), was required by Marathon County from Holton Township, considerable time & effort was given to develop a plan to Preserve, Protect, & Maintain Holton Townships Natural Character, Agriculture & Preserving Natural Resources & Rural Character.

To ignore this Plan and allow mining in Holton would make residents ask-Why the Plan if not to adhere to it? Residents spent numerous hours, thoughts, research, and money on developing such a plan, only to now spend money on meetings, paperwork, research and now hiring an attorney to protect Holton Township. Was that not the idea of the Smart Growth Plan (Comprehensive Plan)?

Greg Rueden
Town of Holton
Chairman of Town of Holton
Comprehensive Plan
104 805 Fence Road
Abbotsford WI 54401

If Application for Zimmerman is Approved-

'Condition' Suggestions by Holton Residents

1. Mining Equipment and Trucks to use one Route for all use.
Fence Road Town of Holton West of Zimmerman Driveway.

Reasoning: A Fence Road is already an all season road for Bartnik Milk Hauling, Zimmerman would have to extend from his property & pay his share of road maintenance on that ONE road. If the town decides the road is damaged, Zimmerman will pay his share to repair.

B The township would be maintaining dust control on this ONE road

C Speed Limit on that route 45 MPH and No Engine Braking

2. Annual Well water testing for any resident requesting test for water quality and depth to be paid by Zimmerman.

3. BiAnnual well water testing at Town of Holton Hall (corner of Fence Road and Rosedale) for Quality and Depth to be paid by Zimmerman. This is a public Building used for various functions serving food. A contaminated well would be putting the public at risk, the town cannot be held libel for sicknesses as a result of water contamination.

4. Limit Hours of Operation to 10 Hours 7am to 5pm Monday thru Friday..No Weekends!

5. Define Seasonal- ex. May 1 –Nov1?

6. Is a Local Impact Committee needed? Wis Stat 293.33 & 293.41 if BOA does approve application

7. Installing and maintaining EFFECTIVE Dust Suppression Systems, such as enclosing processing areas and covered conveyors

8. If the application is approved-How is the operation monitored to be compliant with permit and conditions daily? How likely is it that if the mine violates the conditions, the permit will be terminated? What is the process and how lengthy?

9. If the applicant leases the mine, the renter must adhere to a new application process.

10. If the applicant sells the property, the new owner must adhere to a new application process

11. Zimmerman to be responsible for all road maintenance on designated route. Town of Holton to be the decider of when & if the road is deteriorated. Zimmerman to warranty maintenance to be done with Bond set by the town.

To: The Honorable Board members: Pat Schreiner, Richard Lawson, Carolyn Opitz,
Tom Seubert, Mike Ritter, Kerry Brimmer, Jim Servi

My letter addresses the Non Metallic **Mining Application of**
Glenn H Zimmerman in the Town of Holton

After attending an informational meeting about the mining, I was very disturbed with the answers from the applicant to resident questions. His answers were very vague and elusive regarding who was backing him, whether he would sell or lease the rights of the mining property.

The other concerning part is the applicant has open cases on Marathon County Circuit Court regarding Violations on Wetlands.

The Noise of this operation, Truck Traffic, Toxic Dust Particles released from Blasting and Crushing processes will destroy life as we know it here. According to the Marathon County Non-Metallic Mining Permits Map, it shows that if one Quarry Pit is approved, many more will follow.

In reviewing the Town of Holton Comprehensive Plan, I find the goal is to preserve Agriculture, farmland, and quality of rural life.

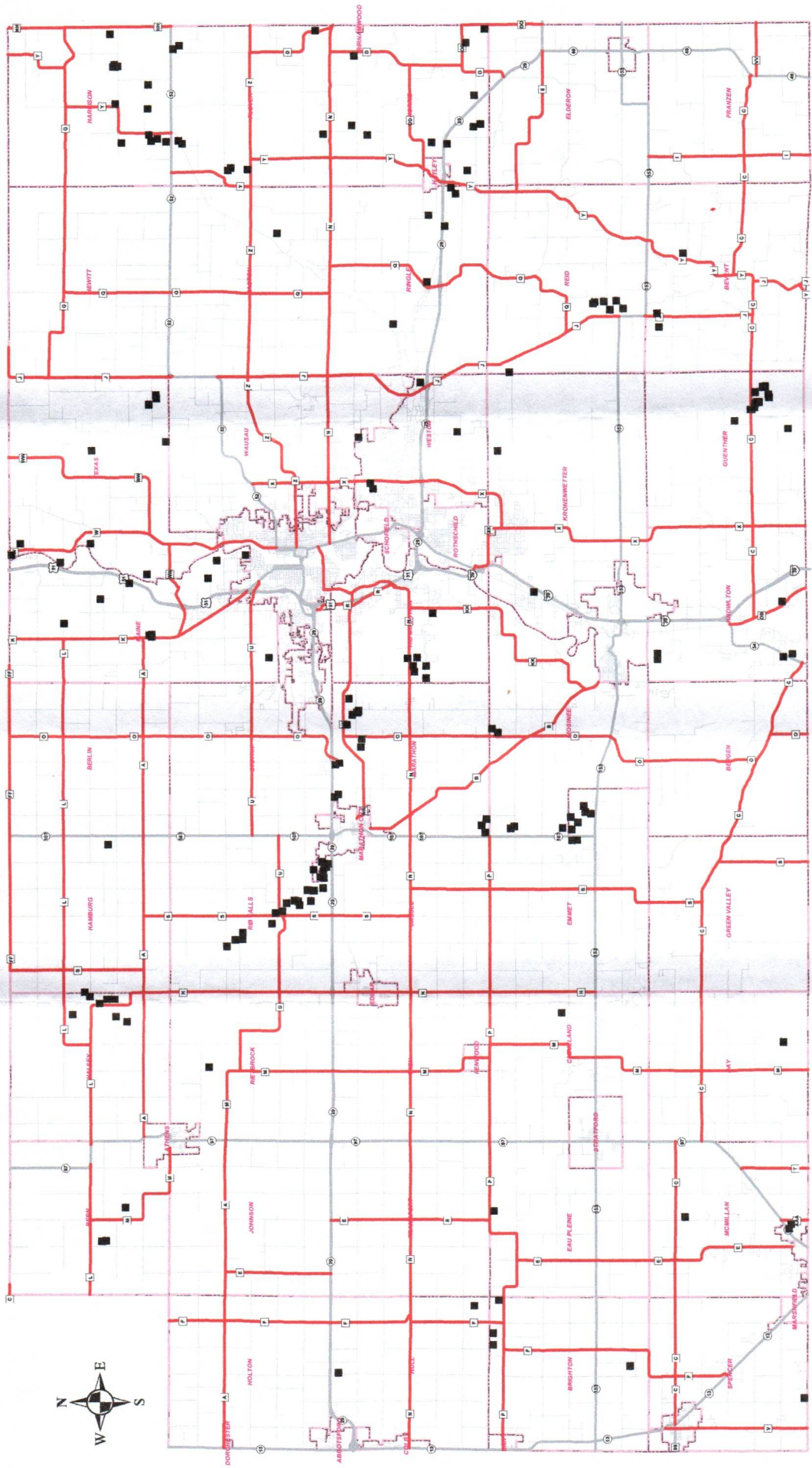
When I moved to Holton from the city, the Rural Countryside was pristine. I ask that you deny the applicants permit to mine in the Town of Holton on Fence Rd.

Thank you for your attention to this matter.

Raymond J. Vermette

103064 DRAPER RD DORCHESTER
TOWN OF HOLTON

MARATHON COUNTY NON-METALLIC MINING PERMITS



Legend

- Non-Metallic Mining Permits
- County Roads
- Local Roads
- State & US Highways
- - - Municipal Boundary



Map developed by Marathon County
Conservation, Planning & Zoning GIS

Map Date: 6/8/2020

Path: O:\Common\gis\data\projects\highway\manure\manure_metallic.mxd

TO: Marathon County Board of Adjustment

Mining Permit- Glenn Zimmerman Fence RD, Holton

WELL WATER CONTAMINATION - A contaminated well from mining processes would put the public at risk. The town hall property borders Fence Road. Shallow wells will be negatively affected by the blasting and lowering the water table. **Town of Holton Comprehensive Plan (page 2, 4, page 12) protecting water resources, including potable water) Page 1 Preserve Safe, Small-town living.**

The Town of Holton Hall is open to the Public for all occasions serving food, utilized for elections, meetings etc.

Mining Operations Toxic Dust spreads throughout the community, landing on vegetation to be eaten by Milking Cows, Bees(Honeybees on Warren Buss farm on Fence Rd) , Wildlife and Humans. The dust adversely affecting health and travels for many miles- Look at how far the Canadian Wildfires soot and smoke traveled. Organic Farms (Charles Wellner) and Gardeners will have Toxic Dust from Blasting, Crushing, and Grinding Processes. The fact is Mining operations damages the environment releasing dangerous fumes, smoke, dust and odors.

Please adhere to Holton's' Comprehensive Plan by keeping Agriculture #1 and Preserving Rural character. (page 1)

Thank you for your consideration.

Wonna Huth 103064 DRAPER Rd Dorchester, HOLTON
Former Member Town of Holton Zoning Committee and Smart Growth Committee.

Date: March 20, 2026

To: Marathon County Board of Adjustment

RE: Glenn H Zimmerman Mining Application

I ask for the application for the mine on Fence Road Town of Holton be denied.

I feel allowing a mining operation is against Town of Holton Comprehensive Plan.

Page 1 of the Comprehensive Plan states in a safe environment, this excessive truck and machinery traffic will interfere with our daily quality of life.

The primary goal of Holtons Plan is to preserve farming in a rural community.

We have many Amish Communities in the Township of Holton, Truck traffic is especially dangerous when the trucks drive so fast and create so much dust it is hard to see.

I also drive school bus and encounter the dust visibility problem.

We do not need an additional hazard; we need to follow our Comprehensive Plan.

Thank you for your time.

A handwritten signature in black ink that reads "Montana J. Kohl". The signature is written in a cursive style with a large initial 'M'.

Previous Town of Holton Zoning Committee Member

To Marathon County Board of Adjustment

From Nathan Kohl (18 yr old) new resident to township

Application from Zimmerman, Glenn H (Greenwood WI) for Mining in the
Town of Holton WI

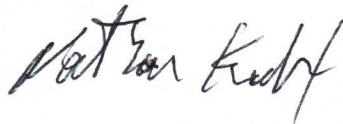
Mining in the town of Holton will have a negative effect on the neighbors of
such an operation.

The dust affecting asthma, COPD, creating additional health problems for
both young and old residents. The hazardous additional truck traffic on
already busy country roads with slow moving agriculture equipment. Will the
town have to widen roads? What about the impact of bridges?

What about the noise and vibrations? They have negative impact on public
health and safety, on the nearby river, fish, wildlife deer, Bees, bugs and water
fowl!

I ask the board to deny Glenn H Zimmerman mining application

Thank you,

A handwritten signature in black ink that reads "Nathan Kohl". The signature is written in a cursive style with a large initial 'N' and 'K'.



**Glenn Zimmerman on behalf of
Zimmerman Construction - Excavating
Conditional Use Permit Application
Staff Report, April 23rd, 2026
Marathon County Board of Adjustment**

PETITIONER:

Zimmerman Construction – Excavating (Glenn Zimmerman) – N12737 Reesewood Avenue, Greenwood, WI 54437

PROPERTY OWNERS:

Glenn & Alta Zimmerman – N12737 Reesewood Avenue, Greenwood, WI 54437

REQUEST:

The application of Glenn Zimmerman, for a conditional use permit per 17.204.54 “Nonmetallic Mining” of the General Code of Ordinances for Marathon County Chapter 17 Zoning Code, for the purpose of establishing a 48 acre nonmetallic mining operation (quarry) on properties currently owned by Glenn & Alta Zimmerman. The properties are located in the G-A General Agricultural district, on parcels described as N ¼, NE ¼, and NW ¼, NE ¼ Section 21, T29N, R2E Town of Holton, further described as PIN# 042.2902.211.0999 and 042.2902.211.0998 with site address 104155 Fence Road, Abbotsford, WI 54405.

PUBLIC HEARINGS/MEETINGS:

- Town of Holton Town Board Meeting: April 14th, 2026
- Marathon County Board of Adjustment Meeting: April 23rd, 2026; 9AM

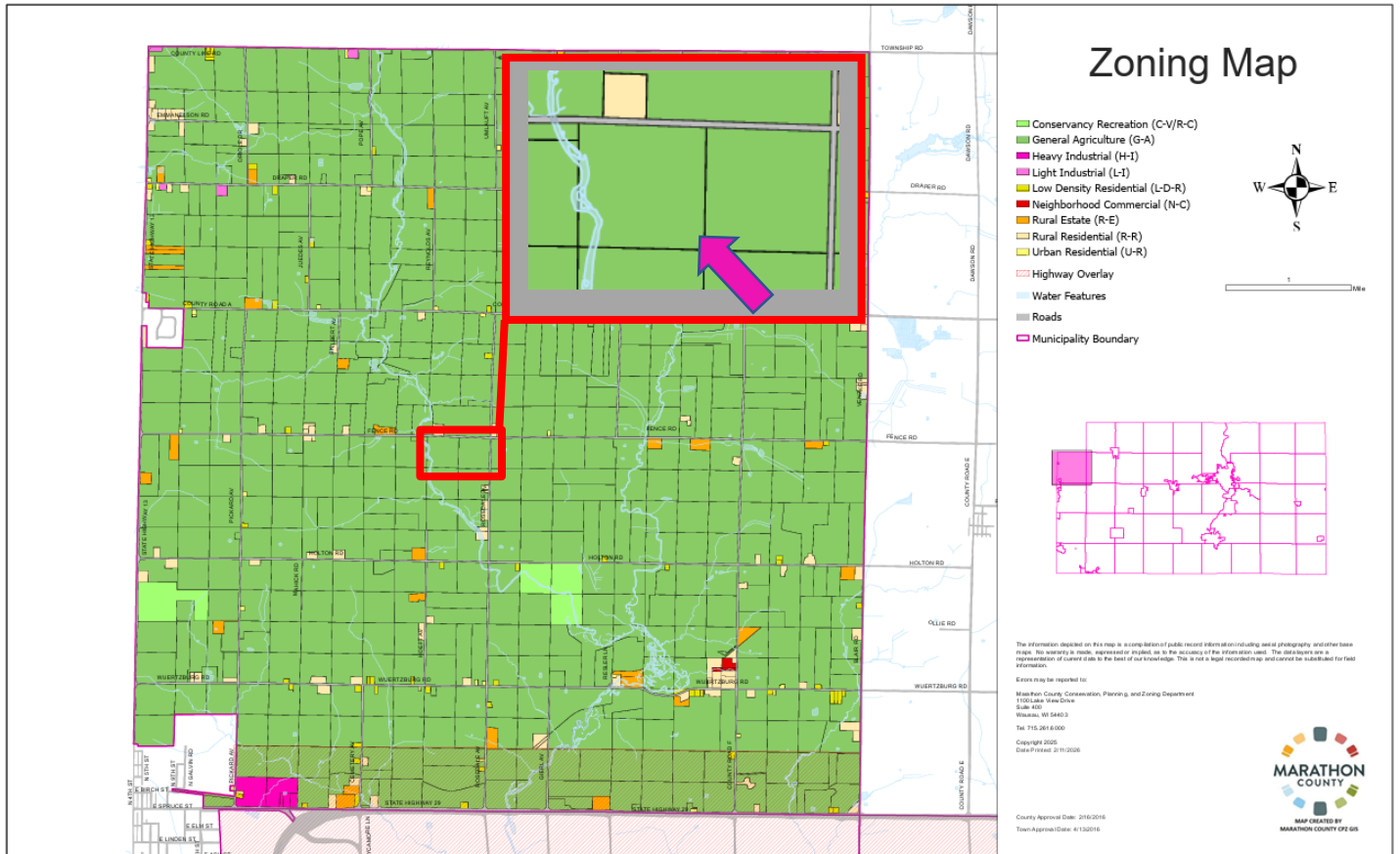
Legal Notification:

A legal advertisement was published in the *Wausau Daily Herald*. Notice of the CUP was also sent by regular mail to adjacent property owners within 300 feet of the subject property.

EXISTING ZONING DISTRICT:

G-A General Agricultural. The purpose of the G-A district is designed to foster the preservation and use of agricultural land related uses and to provide for limited residential uses in a rural environment but not the division of land as classified in 18.07(2) and (3) into five or more tracts, parcels or lots within a five-year period. This district provides for limited residential development with modest densities that require relatively large land areas that are compatible with the surrounding rural land use activities. The district is intended to provide towns with multiple options to guide growth and development in concert with the comprehensive planning efforts.

Town of Holton Zoning Map: The parcel proposed is currently zoned General Agricultural



Town of Holton

Marathon County, Wisconsin

Parcel Acreage

77.93 Acres (Marathon County GIS)

Town Comprehensive Plan Future Land Use Map: Parcel is shown to be designated Forest Land, Other Agriculture and Cropland.

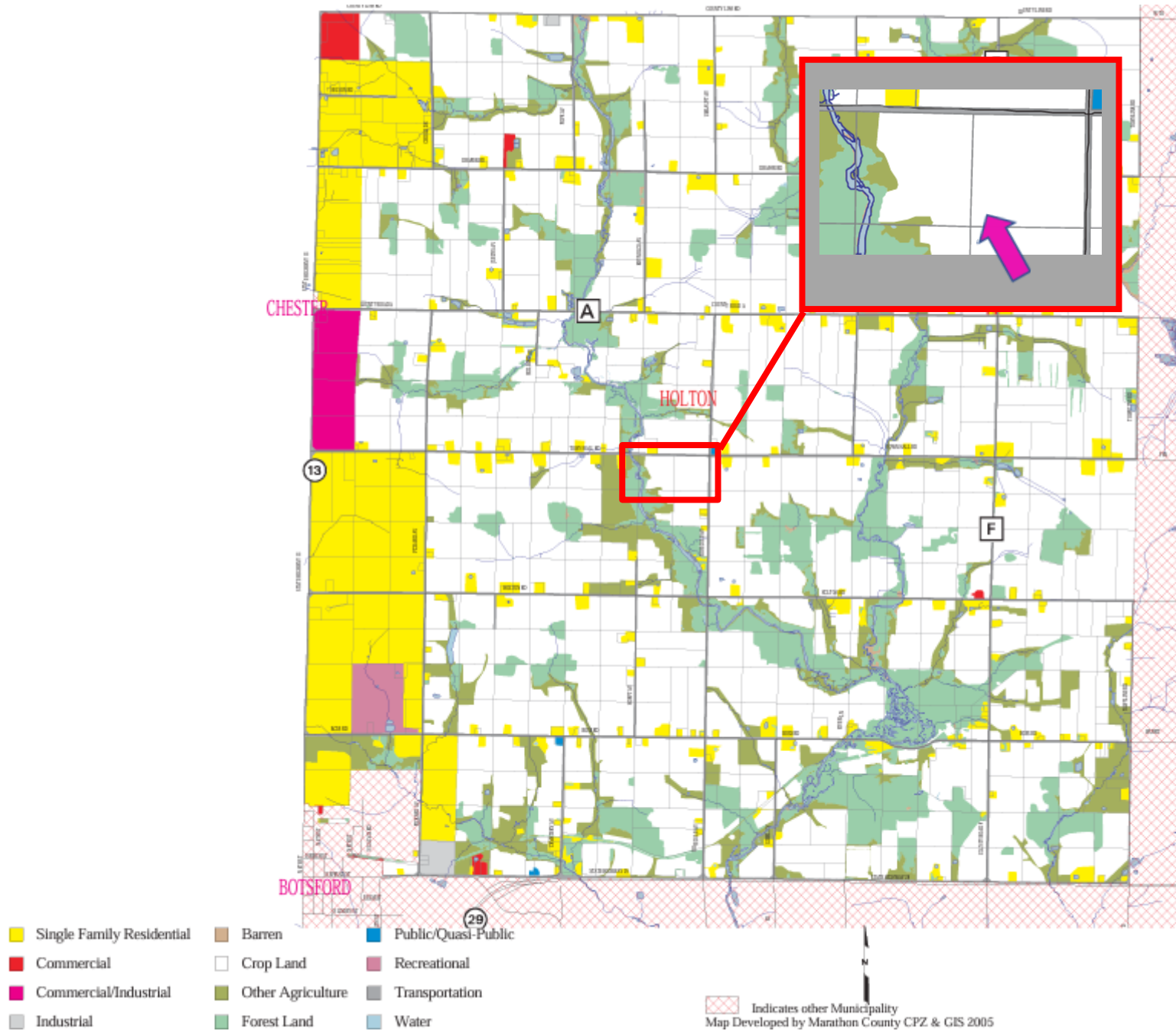


Figure 3-1
Future Land Use
HOLTON

SPECIFIC PARCEL LIMITATIONS OR NATURAL FEATURES:

- Portions of the parcel or parcels:
 - **Are** located within mapped floodplain
 - **Are** located within DNR mapped wetlands, or water features.
 - **Are** located within the shoreland overlay district

*The proposed mine site is not located within any of the above listed areas of concern

VIOLATIONS

There are no known violations on the property.

Aerial Photo

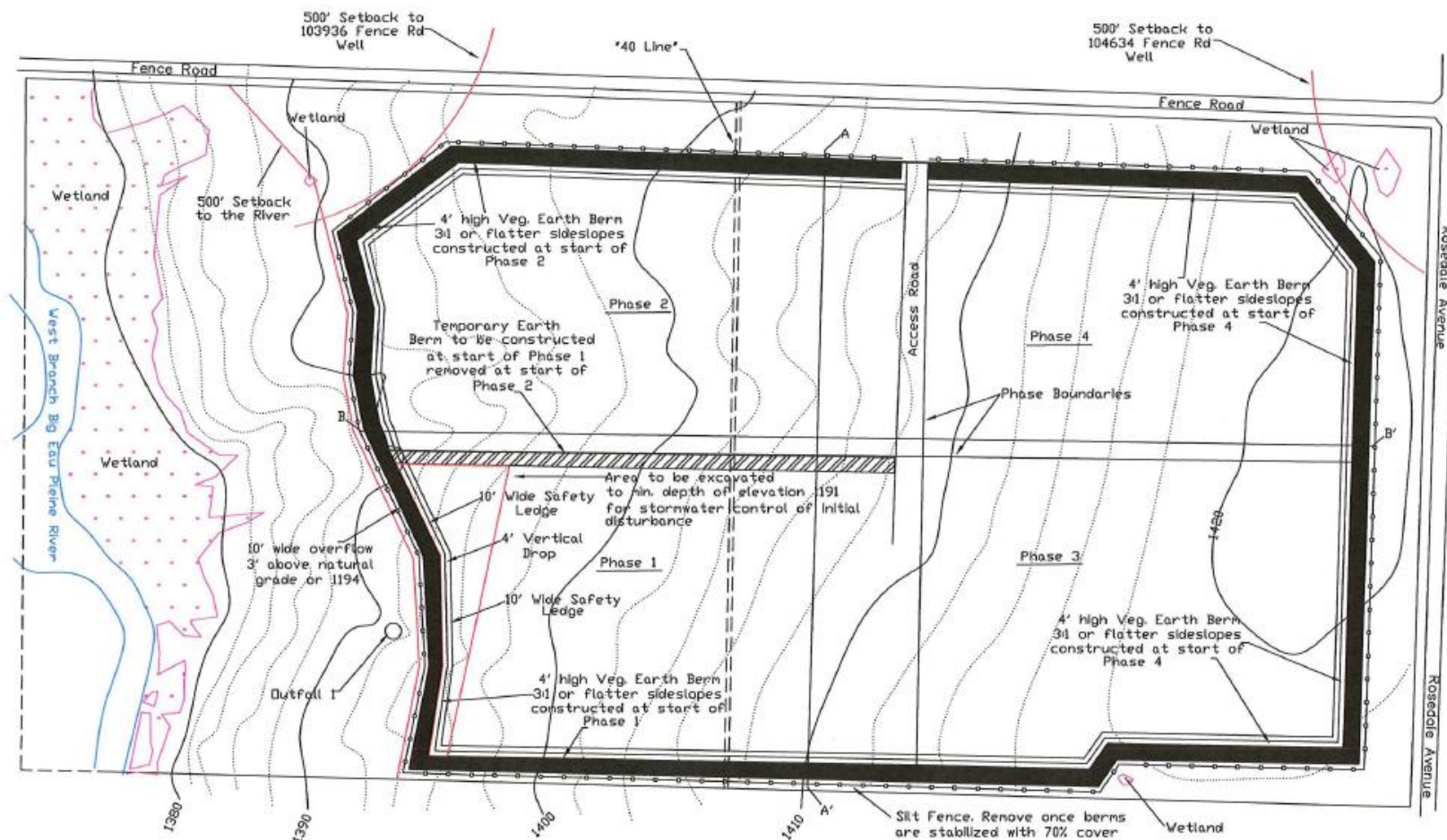


Working Site Map

Project:
 Glenn Zimmerman Quarry
 NW1/4, NE1/4, Sec. 21, T29N, R2E
 Town of Holton, Marathon County
 Date Map Created: 1-13-26



WORKING SITE MAP



Note: 4'-4 Wire Barb Wire Fence with 'Caution' signs every 100' to be installed where silt fence is shown as part of reclamation
 Note: Areas upslope of actively mined areas to be graded to divert stormwater around disturbed area.

Scale: 1" = 100' Unless Noted



This is not a certified survey map

Legend

Wetlands Delineated by Star Environmental, Inc.

500' Setback to the River

Silt Fence

Temporary Earth Berm

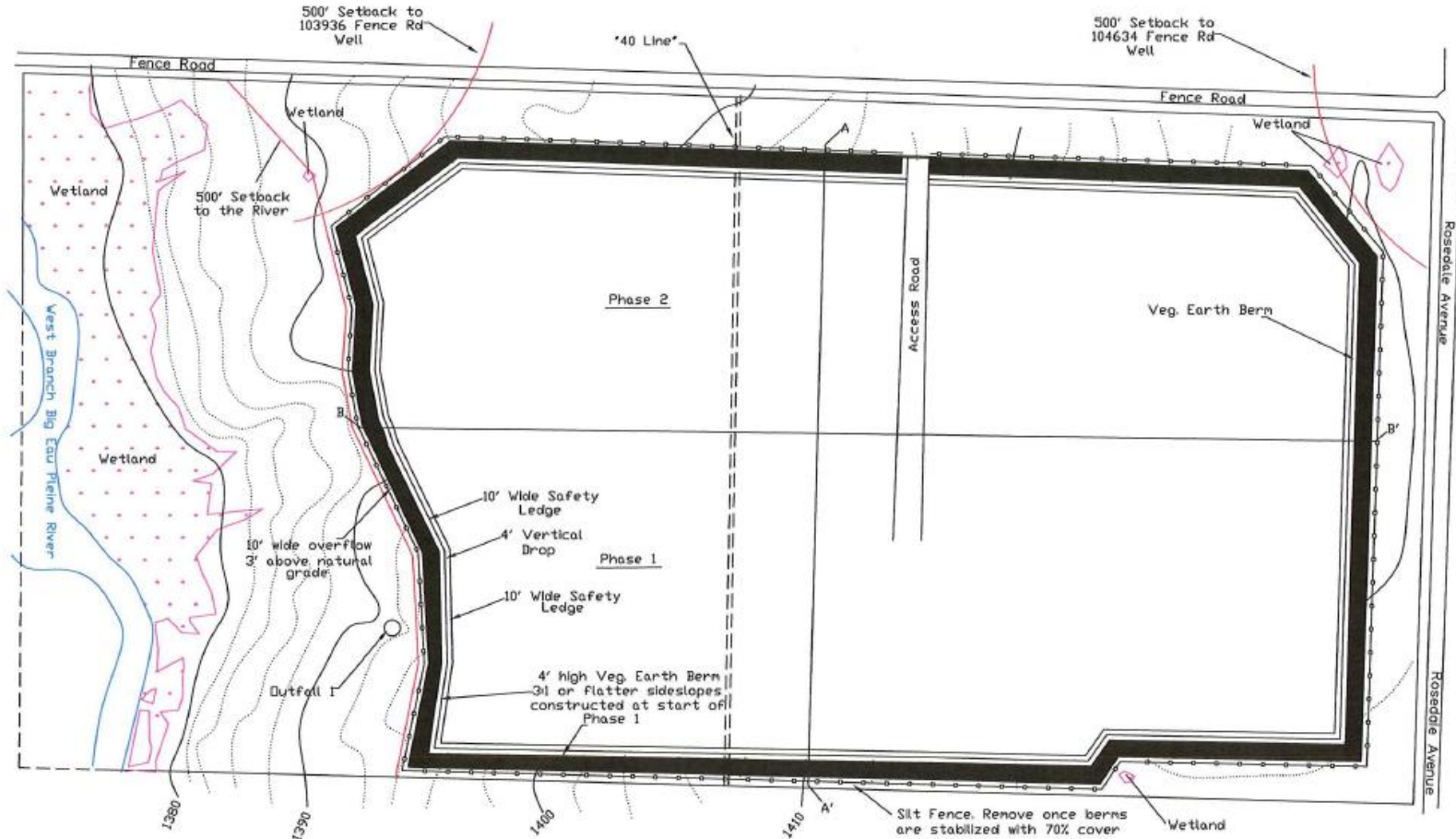
Permanent Earth Berm constructed at start of associated Phase

Reclamation Map

Project:
 Glenn Zimmerman Quarry
 NW1/4, NE1/4, Sec. 21, T29N, R2E
 Town of Holton, Marathon County
 Date Map Created: 1-13-26



PROPOSED SITE MAP



Note: 4'-4 Wire Barb Wire Fence with 'Caution' signs every 100' to be installed where silt fence is shown as part of reclamation

Scale: 1" = 100' Unless Noted

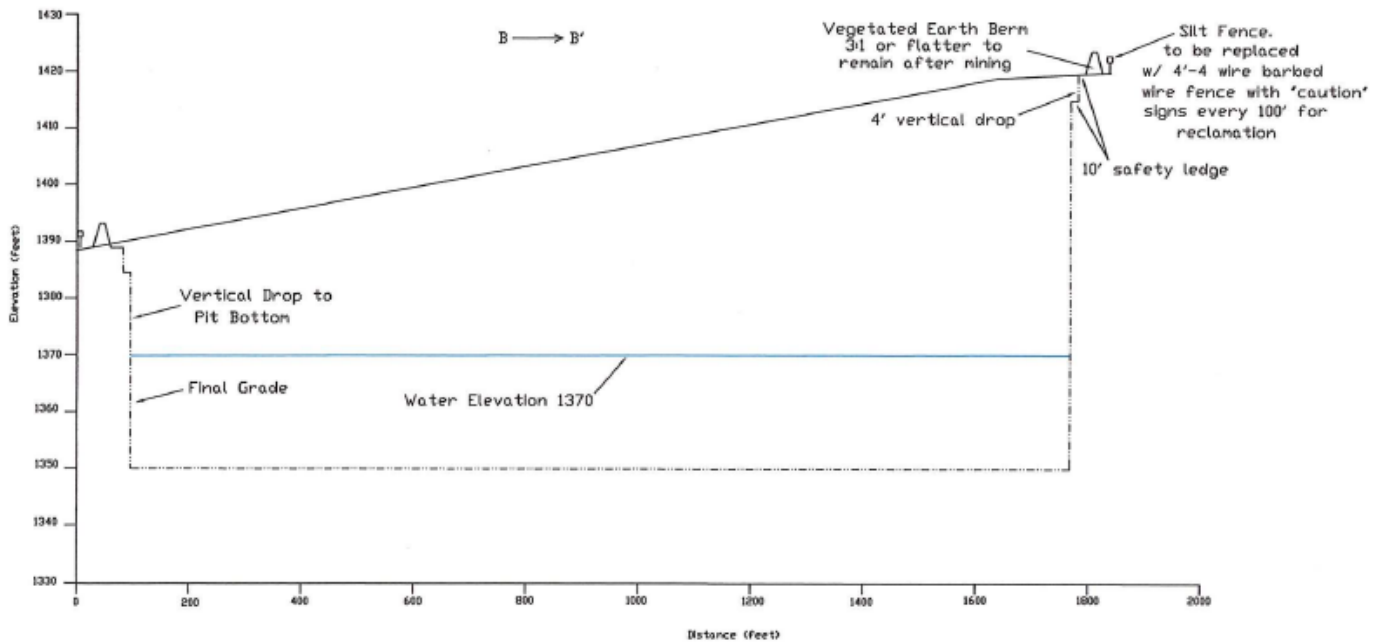
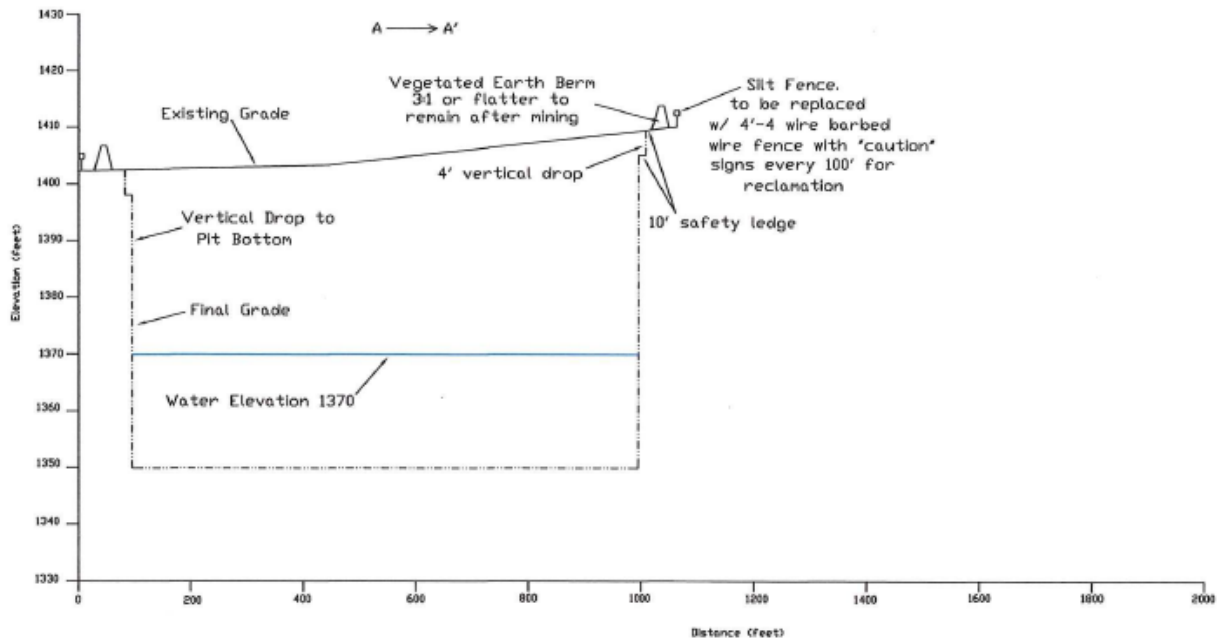


This is not a certified survey map

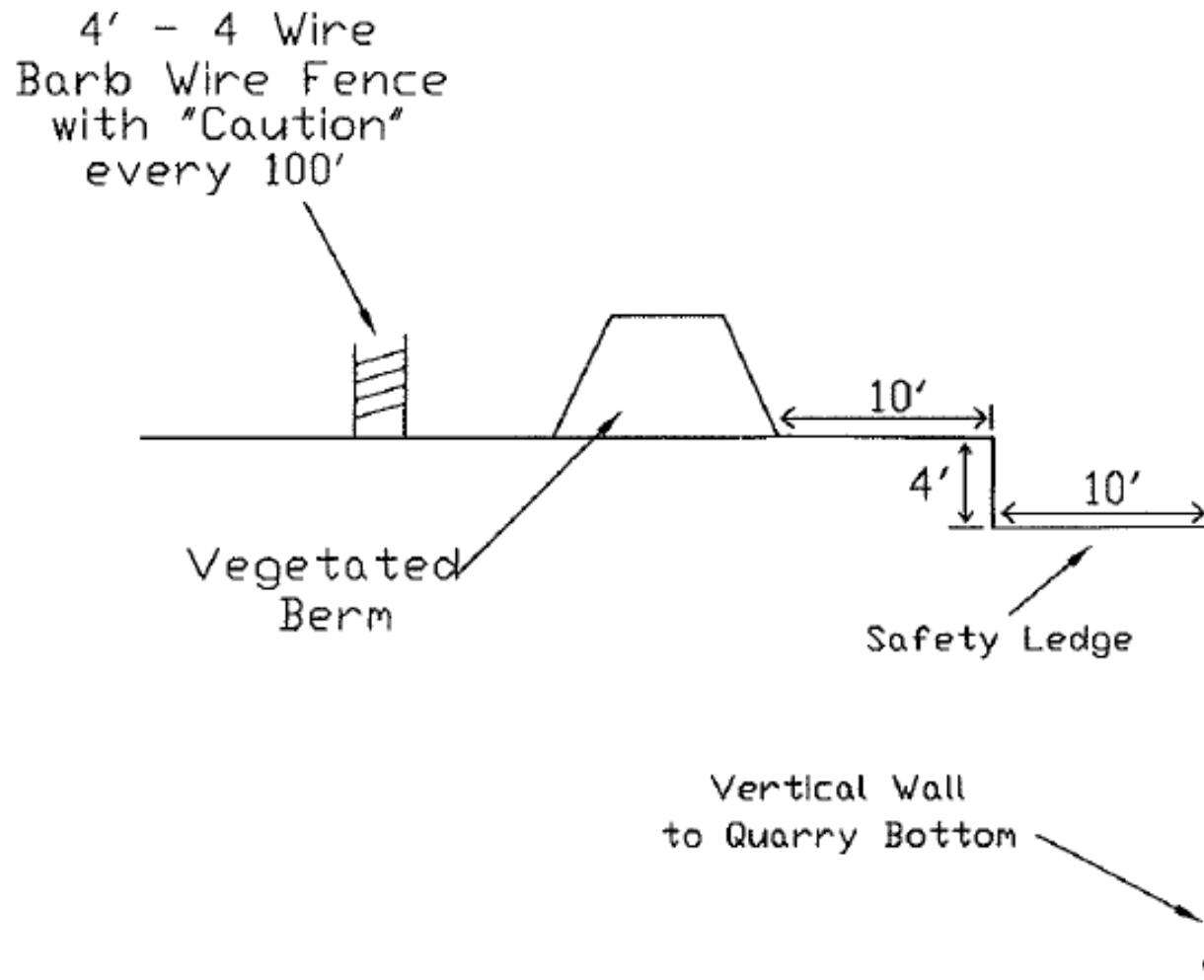
Legend:

- Wetlands Delineated by Star Environmental, Inc.
- 500' Setback to the River
- 4'-4 Wire Barbed Wire Fence
- Permanent Earth Berm

Cross Sections



Example of Typical Vertical Wall and Safety Ledge Drawing



Chapter 17 Sections that apply to this application

Table 3. Uses Permitted by District

USE	Key: P Permitted Use C Conditional Use (Blank) Use Not Permitted												
	Residential Districts				Agricultural Districts			Nonresidential Districts					Development Standards
	U-R	L-D-R	R-R	R-E	F-P	G-A	C-V/R-C	N-C	C	B-R	L-I	H-I	
INDUSTRIAL and EXTRACTION USES													
Manufacturing, Fabrication, and Processing (light)											P		
Manufacturing, Fabrication, and Processing (heavy)												P	Section 17.204.50
Sales (indoor) of Products Manufactured Onsite											C	C	Limited to 15% of floor area
Solid Waste Disposal, Composting, and Recycling Facility						C						C	Section 17.204.51
Junk Yard, Storage/Impound Yard, and Salvage yard						C						C	Section 17.204.52
Warehousing/Distribution						C					P	P	Section 17.204.53
Nonmetallic Mining				C	C	C	C					C	Section 17.204.54
Metallic Mining Exploration			P	P	P	P	P	P	P	P	P	P	Section 17.204.542
Metallic Mining Bulk Sampling						P							Section 17.204.543
Metallic Mining Prospecting						C							Section 17.204.544
Metallic Mining						C							Section 17.204.545

Section 17.204.54 NONMETALLIC MINING

Project: Glenn Zimmerman

Date: February 4, 2026

Location: NW1/4,SW1/4, of Section 21, T. 29N, R. 2E. Town of Holton, Marathon County, WI

Acres 48.0

Zoning – G-A (General Agriculture)

A. Aerial Photograph and Map.

1. The boundary of the affected parcel and any adjacent parcel, pipelines, railroads, streams, utilities, and wetlands on the proposed extraction site and any adjacent parcel.

See Attachment 1 in Reclamation Plan. There are no utility lines adjacent to the proposed Pit. Excavation will maintain a 500-foot setback from the nearest navigable waterway. Wetlands were delineated by Star Environmental, Inc., the pit was designed to avoid the natural wetland areas.

2. The name of the owner of each adjacent parcel and the location of all structures within 300 feet of the proposed mine site.

Please see Attachment 4 in Reclamation Plan.

3. The proposed location, extent, and depth of the intended sand, gravel, and rock excavation, showing the setback distances.

Proposed Depth of exaction varies between approximately 42 to 70 feet, or to elevation 1350. Historical test pits show this material is present. All mining activities, including berm location, will maintain a minimum 20-foot setback from "500-foot setback" and south property line and a 100 foot setback from the north and east property lines. See project maps Attachment 1 of the Reclamation Plan for proposed layout.

4. The proposed location of any ponds, sediment basins, and stockpiles showing the setback distances.

The entire pit will result in a pond. For initial earth moving, topsoil will be used to construct earth berms downslope of Phase 1. As mining expands, berms will continue to be constructed to contain stormwater runoff. Upslope diversions will be utilized to direct stormwater from undisturbed areas around mining areas. During excavation, all stockpiling will be confined within the project boundary to prevent siltation to the adjacent landscape. See Attachment 1, "Working Site Map" for operational detail.

5. The surface drainage and estimated depth to groundwater.

Surface water will drain to the west. Groundwater elevation will be similar to the surface water elevation of the nearby river, elevation 1370. See Attachment 1, "Cross Sections" for estimated groundwater elevations.

B. Operational Information.

1. The duration of any applicable lease.

NA. The project site will be operated by the Glenn Zimmerman.

2. The estimated date that operations will commence and terminate.

Mining operations are expected to commence in Spring 2026 and is expected to last for 25 years.

3. Anticipated hours of operation.

The project site will continue to operate between 6 AM and 6 PM which coincides with normal daylight hours in spring, summer, and fall.

Operations may occur of Saturdays.

4. The proposed primary travel routes to transport material to and from the site.

The material sourced from the project site is to be used for local construction projects. Access to the Quarry will be located on Fence Road. From Fence Road, the exact travel route will depend on the specific project's location.

5. A description of the excavation and processing equipment to be used.

The equipment used will be primarily a backhoe, haul truck, and a dozer for general grading, crusher and screener.

6. A description of measures to be taken to screen or buffer the operation from view from any adjacent residential parcel.

The property is located in a rural setting with very little residential properties present. The surrounding area is primarily used for agricultural purposes. The Quarry will maintain a 100-foot setback from Fence Road and Rosedale Avenue. Once mining commences in adjacent Phases, a vegetated earth berm will be constructed. Both the setback and berms will act as a screen or buffer from the road.

7. A description of measures to be taken to control dust, noise, and vibrations from the operation.

Operations will only take place during normal business hours. Noise produced at the site will be consistent with low volume loading and trucking movements with occasional crushing and blasting. Any concerns from neighbors will be dealt with in a respectful manner and managed appropriately.

C. Operation.

1. All blasting must be done by a state licensed and certified blaster, who must have a certificate of liability or proof of liability insurance.

Any blasting that occurs will be completed by a State Licensed and Certified Blaster with proof of insurance.

2. All excavation equipment must be constructed, maintained, and operated in such a manner as to eliminate, as practicable, dust, noise, or vibration that might adversely affect or injure any person living in the vicinity of the operation.

All equipment and activities will be conducted to ensure the safety of the workers and the public. Nuisances associated with noise will be minimal due to the hours of operation. Machinery used will be kept in good working condition. If a problem with a piece of machinery occurs, the machine will be taken offsite and repaired and not allowed to operate onsite until the problem has been resolved. The project area is off the road with minimal amount of residential area present minimizing disturbance to the local community.

3. Any excavation access road must have and be maintained with a dustless surface.

The access road will be maintained. Due to the shallow coarse rock present at this site, dust is not anticipated to be an issue. If dust does become an issue, water trucks can be used to spray the driveway.

4. Operations must be conducted in such a manner that any water runoff from the operation does not adversely affect any adjacent parcel.

The owner understands that stormwater control permit must be obtained with any land disturbance over 1 acre to ensure that topsoil disturbances and erosion (sedimentation) is controlled. Vegetated earth berms will be constructed to prevent stormwater runoff from leaving the site and upslope diversions will be used to route stormwater from undisturbed areas around the mine. Silt fence will be installed downslope of the vegetated earth berms to prevent siltation to the adjacent landscape.

5. All equipment and temporary structures, such as stone crusher, conveyor, or screener, must be removed from the site within 90 days of the termination of extraction operations.

All machinery and equipment will be removed within 90 days after final reclamation is complete.

D. Setback Requirements.

1. The excavation must be setback at least 100 feet from any existing occupied structure other than the owner's.

No structures are present within 100 feet.

2. All operations shall be at least 50 feet from the centerline of any right-of-way and 10 feet from any property line unless there is a written agreement between adjoining owners both of whom hold valid nonmetallic mining permits under which they both agree to mine up to their common property line. Mining up to or into the right-of-way may be authorized where it is determined by the unit of government having jurisdiction over the road that such mining would be beneficial.

Excavation will not occur within 50 feet of the center of the road.

3. All accessory uses such as offices and parking areas shall be at least 75 feet from any right-of-way or property line.

No offices are proposed. No road is within 75 feet of the project site.

- E. Nonmetallic mining shall comply with the terms of Marathon County Nonmetallic Mining Code, Chapter 21, General Code of Ordinances.

See attached Reclamation Plan.

- F. All nonmetallic mining shall be required to provide for the proper closure and reclamation of the extraction site to an agricultural use.

The pit will result in a wildlife and recreational pond at the completion of reclamation.

Chapter 17.803 Conditional Use Permits

Section 17.803.01 PURPOSE AND AUTHORITY

A. **Purpose.** Certain uses are of such a nature, or their effects are as dependent upon specific circumstances as to make impractical the determination in advance of where and when and under what conditions they should be permitted. Provision has been made in this chapter for the determination of such uses as conditional uses. Conditional uses are land uses listed as such in [Table 3](#) Uses Permitted by District. They may be established in such district only upon approval by the Board of Adjustment.

The procedures and standards in this Chapter are intended to provide a consistent and uniform method for review of conditional use permit proposals. These review procedures and standards are intended to accomplish the following purposes:

1. Ensure full compliance with the standards contained in this ordinance and other applicable local ordinances, and state and federal laws.
2. Achieve efficient use of the land.
3. Prevent adverse impact on adjoining or nearby properties.
4. Protect natural resources.
5. Facilitate development in accordance with the County's land use objectives per the Comprehensive Plan.

Section 17.803.02 APPLICATION PROCEDURES

I. **Board of Adjustment Determination.** The Board of Adjustment shall review the application for conditional use, together with the previous meetings' findings and reports and recommendations from the Zoning Administrator, public safety officials, and other reviewing agencies. The Board of Adjustment shall then make a determination on the conditional use application, as set forth in Section [17.803.03](#) and based on the Substantial Evidence, other requirements and standards of this ordinance. The Board of Adjustment may approve, approve with conditions, or deny a conditional use request as follows:

1. **Approval.** Upon determination by the Board of Adjustment that the final plan for conditional use is in compliance with the standards and requirements of this ordinance and other applicable ordinances and laws, approval shall be granted.
2. **Approval with Conditions.** The Board of Adjustment may impose reasonable conditions with the approval of a conditional use proposal, to the extent authorized by law. Conditions imposed shall meet all of the following requirements:
 - a. Conditions must be to the extent of practical and measurable
 - b. Conditions shall be designed to protect natural resources, the health, safety, and welfare and the social and economic well-being of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.
 - c. Conditions shall be related to the valid exercise of the police power and purposes which are affected by the proposed use or activity.
 - d. Conditions shall be necessary to meet the intent and purpose of this ordinance, related to the standards established in this ordinance for the land use or activity under consideration, and necessary to insure compliance with those standards. These conditions may include, but are not limited to the following:
 - 1) Permit duration, transfer or renewal
 - 2) Setback and yard dimensions.
 - 3) Specified sewage disposal and water supply facilities.
 - 4) Landscaping and planting screens.
 - 5) Operational controls.
 - 6) Sureties.
 - 7) Deed restrictions.
 - 8) Location of structures, docks, piers or signs.
 - 9) Location and amount of parking facilities.
 - 10) Type of construction.
 - 11) The obtaining of other permits required by the state or federal government agencies, and other county requirements based upon other ordinances as conditions that must be met before issuance of such permit.

1. Denial. Upon determination by the Board of Adjustment that a conditional use proposal does not comply with the spirit or intent or standards and regulations set forth in this ordinance, or would constitute a nuisance by reason of noise, dust, smoke, odor, or other similar factors, or otherwise would be injurious to the public health, safety, welfare, and orderly development of the county, the conditional use proposal shall be denied.

Section 17.803.03 BASIS OF DETERMINATION

- A. **Conformance with Requirements.** The applicant shall be required to establish by clear and convincing evidence that the applicable standards of this Chapter, the specific standards pertinent to each conditional use, including site plan review criteria set forth for applicable site development standards for specific uses set forth elsewhere in this Chapter (refer to Chapter [17.204](#), Development Standards for Specific Uses) have been met.
- B. **General Standards.** The Board of Adjustment shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards:
 1. Compatibility with Adjacent Uses. The proposed conditional use shall be designed, constructed, operated and maintained to be compatible with uses on surrounding land. The site design shall minimize the impact of site activity on surrounding properties. In determining whether this requirement has been met, consideration shall be given to:
 - a. The location and screening of vehicular circulation and parking areas in relation to surrounding development.
 - b. The location and screening of outdoor storage, outdoor activity or work areas, and mechanical equipment in relation to surrounding development.
 - c. The hours of operation of the proposed use. Approval of a conditional use may be conditioned upon operation within specified hours considered appropriate to ensure minimal impact on surrounding uses.
 - d. The bulk, placement, and materials of construction of the proposed use in relation to surrounding uses.
 2. Comprehensive Plan. The proposed conditional use will be harmonious with and in accordance with the general objectives or with any specific objective of the town and county comprehensive plan.
 3. Compliance with Applicable Regulations. The proposed conditional use shall be in compliance with all applicable federal, state, and local laws and ordinances.
 4. Use of Adjacent Property. The proposed conditional use shall not interfere with the use and enjoyment of adjacent property.
 5. Public Services. The proposed conditional use will be served adequately by essential public facilities and services including but not necessarily limited to utilities, highways, streets, police and fire protection, drainage structures, refuse disposal, and school(s); unless the project proposal contains an acceptable plan for providing necessary services or evidence that such services will be available by the time the conditional use is completed.
 6. Impact of Traffic. The location of the proposed conditional use shall, within the zoning district, minimize the impact of traffic generated by the proposed use. In determining whether this requirement has been met, consideration shall be given to the following:
 - a. Proximity and access to major thoroughfares.
 - b. Estimated traffic generated by the proposed use.
 - c. Proximity and relation to intersections.
 - d. Adequacy of driver sight distances.
 - e. Location of and access to off-street parking.
 - f. Required vehicular turning movements.
 - g. Provision of pedestrian traffic (if applicable).
 7. Enhancement of Surrounding Environment. The proposed conditional use shall provide the maximum feasible enhancement of the surrounding environment and shall not unreasonably interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value. In determining whether this requirement has been met, consideration shall be given to:
 - a. The provision of landscaping and other site amenities. Provision of additional landscaping over and above the specific requirements of this Ordinance may be required as a condition of approval of a conditional use.
 - b. The bulk, placement, and materials of construction of proposed structures in relation to surrounding uses.

8. Impact on Public Health, Safety, and Welfare. The proposed conditional use shall not involve any activities, processes, materials, equipment, or conditions of operation, and shall not be located or designed in a manner that is detrimental to public health, safety, and welfare. In determining whether this requirement has been met, consideration shall be given to the production of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, and environmental impact.
9. Isolation of Existing Uses. The location of the proposed conditional use shall not result in a small residential area being substantially surrounded by non-residential development, and further, the location of the proposed conditional use shall not result in a small non-residential area being substantially surrounded by incompatible uses.
10. Substantial Evidence. Substantial evidence means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions.

RECOMMENDATIONS FOR THE CUP

If granted, the CUP should consider including the following conditions:

- Shall adhere to Section 17.204.54 “Nonmetallic Mining” of the General Code of Ordinances for Marathon County Chapter 17-Zoning code. Including but not limited to:
 - Excavation must be set back 100 feet from any existing occupied structure other than the owner’s.
 - All operations shall be at least 50 feet from the Centerline of any right-of-way and 10 feet from any property line.
 - All Accessory Uses such as offices and parking areas shall be at least 75 feet from any right-of way or property line.
- Shall adhere to Section to Section 17.407.01 “General Performance Standards” of the General Code of Ordinances for Marathon County Chapter 17- Zoning Code. Including but not limited to:
 - **Vibrations.** No use shall cause earth vibrations or concussions detectable without the aid of instruments beyond its lot lines with the exception of vibration produced as a result of construction or demolition operations.
 - 1. Nonmetallic mining operations shall be regulated by the State of Wisconsin, Department of Safety and Professional Services, Chapter SPS 307.
 - **Dust, Fumes, Vapors and Gases.**
 - The emission of dust, dirt, fly ash, fumes, vapors or gases which can cause any damage to human health, animals, vegetation, or property, or which can cause any soiling or staining of persons or property at any point beyond the lot line of the use creating the emission, is prohibited.
 - **Heat.**
 - No use shall produce heat detectable without the aid of instruments beyond its lot lines.
 - **Glare.**
 - No use shall produce a strong, intense light or a reflection thereof beyond its lot lines.
- Hours of Operation
 - 6:00am- 6:00pm (Monday-Friday)
 - 7:00am- 5:00pm (Saturday)
 - No operation on Sundays
- Entire permitted boundary must be staked (fiberglass or metal posts) prior to excavation
- Wetlands must be delineated and marked prior to excavation
- Safety measures shall be in place along high walls during operation. Fencing and signs as a minimum safety measure.
- Permit Expiration
 - The nonmetallic mine conditional use permit shall expire 5 years from date of approval
- All other required Federal, State, and Local permits and approvals shall be obtained and followed.

TOWN RECOMMENDATION:

The **Holton** Town Board's Recommend **Denial** to Marathon County's Board of Adjustments.

STATE OF WISCONSIN)
MARATHON COUNTY)
TOWN OF HOLTON)

TOWN RESOLUTION OF RECOMENDATION

TO THE MARATHON COUNTY BOARD OF ADJUSTMENT

I, Taylor Ensign, Clerk of the Town of Holton, Marathon County, State of Wisconsin, do hereby certify that the following is a true and correct copy of a resolution adopted by the Town of Holton Town Board at a meeting held on the 14th day of April, 2026.

RESOLUTION

WHEREAS, the Marathon County Board of Adjustment is established for the purpose of hearing certain appeals, applications and granting variances in harmony with the general purpose and intent of land use regulations, and

WHEREAS, such a hearing is scheduled to come before the Board affecting lands within the Town of Holton.

NOW, THEREFORE BE IT RESOLVED that the Town of Holton Town Board considered on the 14th day of April, 2026, the application of: Glenn Zimmerman, for a conditional use permit per 17.204.54 "Nonmetallic Mining" of the General Code of Ordinances for Marathon County Chapter 17 Zoning Code, for the purpose of establishing a 48 acre nonmetallic mining operation (quarry) on properties currently owned by Glenn & Alta Zimmerman. The properties are located in the G-A General Agricultural district, on parcels described as N ¼, NE ¼, and NW ¼, NE ¼ Section 21, T29N, R2E Town of Holton, further described as PIN# 042.2902.211.0999 and 042.2902.211.0998 with site address 104155 Fence Road, Abbotsford, WI 54405, and hereby recommends:

- Marathon County Board of Adjustment **APPROVE** application
- Marathon County Board of Adjustment **DENY** application

Comments, conditions and reasons for recommended action:

Please see attachment for complete basis of determination, referenced pages, conclusion, and topics for consideration.

Clerk Taylor Ensign
Town Board Dennis Dwyer
Pat Tuckel

NOTE: If you recommend disapproval of this request, please make every effort to send a representative to the Board of Adjustment Public Hearing. Town input at the hearing is always appreciated.
Please return this form before March 12th, 2026 to:

Board of Adjustment
Marathon County Conservation, Planning and Zoning Department
1100 Lake View Drive, Suite 400
Wausau, WI 54403

ATTACHMENT TO TOWN OF HOLTON RESOLUTION OF RECOMMENDATION ON
CONDITIONAL USE PERMIT APPLICATION FOR NONMETALLIC MINING MADE BY
ZIMMERMAN CONSTRUCTION – EXCAVATION

The Town resolution is to DENY the application.

The Town does not find that the applicant has presented appropriate clear and convincing evidence as is required by the County application.

A. Conformance with Requirements:

The applicant “Zimmerman Construction – Excavating” is not an actual entity listed at the Wisconsin Department of Financial Institutions.

Marathon County GIS indicates owners of the land are Glenn H. Zimmerman and Alta S. Zimmerman, which is not indicated on the application.

There cannot be an application without an appropriate applicant. See County Code § 17.803.02.B.

B. General Standards

1. Compatibility with adjacent uses.

- a. No information is given.
- b. No information is given.
- c. No information is given. The reclamation plan states “6 am to 6 pm Monday through Friday with occasional Saturdays.” Reclamation is not an operations plan.
- d. No information is given.

2. Comprehensive Plan(s).

From the Town Comprehensive Plan, available at:

<https://www.marathoncounty.gov/home/showpublisheddocument/1626/638181302429330000>

There is currently zero (0) acreage in the Town devoted to mining operations. Page 19. Therefore, this requires a precautionary approach as it represents a substantial change for the Town.

The subject area is identified in the Town’s comprehensive plan as a “Priority Watersheds as identified in the Marathon County Land & Water Resource Management Plan.” Page 68. Yet the proposal is to dig a pit next to a river.

The development is not consistent with the Marathon County Guiding Principles goal no. 2 “Preserve Working Agriculture.” Page 110. According to the proposal, this land will never be put back into working agriculture.

The future land use of the subject property is intended to be “Crop Land.” Page 129. The proposal is inconsistent in that it intends to permanently remove the subject property from being crop land.

The subject property is serviced by unimproved roads. Page 134. There is no infrastructure now or available in the future to service this singular island necessitating extremely high use.

From the County Farmland Preservation Plan, available at:
www.marathoncounty.gov/home/showpublisheddocument/13565/638591402420100000

The subject area is currently within an Agricultural Enterprise Area. Page 61.

The subject area is intended for farmland preservation. Page 145.

In summary: the proposed nonmetallic mining operation represents a stark change that is not harmonious, in accordance with, or consistent with town and county comprehensive plans.

3. Compliance with Applicable Regulations.

Unable to determine due to the incomplete application.

4. Use of Adjacent Property.

Unable to determine due to the incomplete application. However, the proposed use is highly unlikely not to interfere with the use and enjoyment of adjacent property, which is open rural land for farming and hunting.

5. Public Services.

Unable to determine due to the incomplete application. However, it is highly unlikely that the current unimproved road conditions will support this operation.

See referenced pages attached.

Based on the submitted, incomplete information, the Town has resolved to DENY this proposed conditional use permit. However, even with complete information, the Town would be unlikely to support this proposal because it represents a significant departure from the current adjacent land uses, could not be properly supported by necessary infrastructure, and is inconsistent with all Town and County planning for the area.

With the application being this incomplete, it is difficult for the Town to consider appropriate conditions at this time.

If the applicant decides to complete and resubmit the application, the Town asks the County to let the Town consider it again, especially as to potential conditions.

It is apparent to the Town that it will need appropriate conditions on at least the following topics:

1. Designated haul route specifications to be determined after baseline data has been analyzed by a focus group.
2. Possible \$100,000 bond for road maintenance and dust control.
3. Dust control for haul route supplied by operator annually.
4. Baseline and Bi-Annual well water testing for any well within 1 air mile with any recovery to baseline specifications to be paid by the operator.
5. Permits to be re-considered/re-evaluated/re-applied with change of ownership of the operating company or the land owner.

Thank you.

THE STAFF RESERVE THE RIGHT TO AMEND THIS REPORT BASED ON NEW EVIDENCE PRESENTED PRIOR TO AND/OR DURING THE PUBLIC HEARING.

DECISIONS OF THE BOARD ARE SUBJECT TO APPEAL AS PROVIDED IN SS.59.694(10) WIS. STATS.

RESPECTFULLY SUBMITTED:

A handwritten signature in black ink, appearing to read "J. Lee" followed by a long horizontal flourish.

SIGNATURE

DATE

4/15/2026

APPLICATION FOR CONDITIONAL USE PERMIT
MARATHON COUNTY BOARD OF ADJUSTMENT

The applicant hereby requests the Board of Adjustment to hear and decide upon this application as prescribed by Section 17.803 of the Marathon County Zoning Ordinance. Use a separate sheet if necessary.

Name of Applicant: Aaron Gullan
Mailing Address: 203977 County Road M, Stratford WI 54484
Telephone: 715-383-3157 Fax: _____
Cellphone: _____ Email: Gullan.aaron@live.com
Owner Name: (if different) _____
Mailing Address: _____
Telephone: _____ Fax: _____

PARCEL INFORMATION

Parcel ID # (PIN): 056-2603-331-0968
(if more than one parcel is included in this application, list all parcel numbers & legal descriptions on a separate sheet.)
Legal Description: Government Lot: _____ or NE 1/4 NE 1/4 Section: 33 T 26 N. R 3 L.
Town of Mcmillan
Lot 2 Block _____ Subdivision _____
Property Address: 201432 Galvin Ave, Marshfield, WI 54449
Parcel size: 4 Acres or _____ ft² Zoning District: RR

Present use of property (List all current uses, i.e. home, store, farm field, wooded, etc.):
Wooded Land with no current/existing structures

Existing improvements (Structures, well, septic, etc.):
Lot access via Galvin Ave. Culverts and driveway installed

PROPOSAL

Describe specifically the nature of this request (be sure to list all proposed uses of the parcel). What do you plan to do?
Requesting to place an accessory structure on this parcel without a principal structure. The proposed accessory building is a 12x20 structure to be used for storage and recreation.

If this application is for a use that will be restricted to part of the parcel, specify the exact dimensions of the affected area.

Provide the following information if this box is checked

Proposal has additional development standards in Section _____ Explain how your proposal meets or exceeds these requirements.

Use separate/additional sheet(s) if necessary

INSTRUCTIONS TO APPLICANT

1. Be sure to complete **all items** on the application. This includes a **brief, but complete explanation** of the current use and proposed new use.
2. Prepare a **map at a scale which is reproducible** (11" x 17" or smaller). For maps larger than 11" x 17", be prepared to provide as many copies as needed for transmittal. In no instance may the scale of the map be less than 1 inch equals 200 feet. There are instances where a cross-section of the property or contours will be helpful, and in some cases one or both may be required. Narrative or photos may be included as supporting documentation.

At a minimum the map must include:

- The location, dimensions, and parcel identification number of the lot or lots including a legal description.
- Location of any and all nearby public and private streets.
- Dimensions of the lot and the location of all existing and proposed buildings or structures, and location of existing or proposed private onsite wastewater treatment (septic) system.
- Required front, rear, and side yard areas, open space, and parking.
- On residential parcels, the number of dwelling units contained within each building and proposed number of bedrooms.
- Location and dimensions of all buildings or structures to be erected, structurally altered, or moved.
- Wetlands and floodplains
- Screening/Buffers
- Lighting
- Parking


3. **Include fee** when you submit the application. Please make checks payable to Marathon County.

We cannot consider an application complete until the following are submitted to this office:

<i>Check if submitted</i>	<i>Initial of staff</i>	
<input checked="" type="checkbox"/>	<u>aw</u>	Completed application including signatures.
<input checked="" type="checkbox"/>	<u>aw</u>	Map with all required information
<input checked="" type="checkbox"/>	<u>aw</u>	Additional documents, as needed (lot combination forms, hunting/fishing shelter application, etc.)
<input checked="" type="checkbox"/>	<u>aw</u>	Zoning Permit application
<input checked="" type="checkbox"/>	<u>GP</u>	Fee

Please contact the Marathon County Conservation, Planning and Zoning Department with any questions: 715-261-6000.

IMPORTANT: The applicant or authorized representative **must be present at the hearing** or Board **may deny** the application without prejudice.


Owner Signature (required)

2/15/26
Date

Agent / Person responsible for work *Signature* (required)

Date

Conditional Use Permits expire six (6) months from the latest date of signature on the approval letter signed by Chairman and the Secretary of the Board of Adjustment if the proposed construction or preparation of land for use has not commenced. The Zoning Administrator may grant an extension for up to six (6) months upon show of valid cause.

Return to: Board of Adjustment
Marathon County CPZ Department
210 River Drive
Wausau, WI 54403-5449

Telephone: 715-261-6000
Toll free within Marathon County: 1-800-236-0153
Facsimile: 715-261-6016

For office use

Amount Received: \$ 665.⁰⁰
(2/17/26)

For office use

Date Stamp:

RECEIVED

For office use

FEB 16 2026

MARATHON CO. CONSERVATION,
PLANNING & ZONING DEPT.

488.07'

380 ft

409.67'

T26 R3
33

CSM1872805

LOT 2

223.07'

20ft L

Acc.
Bid

11.5 ft T

30FT

12ft W

379 ft

265'

145 ft

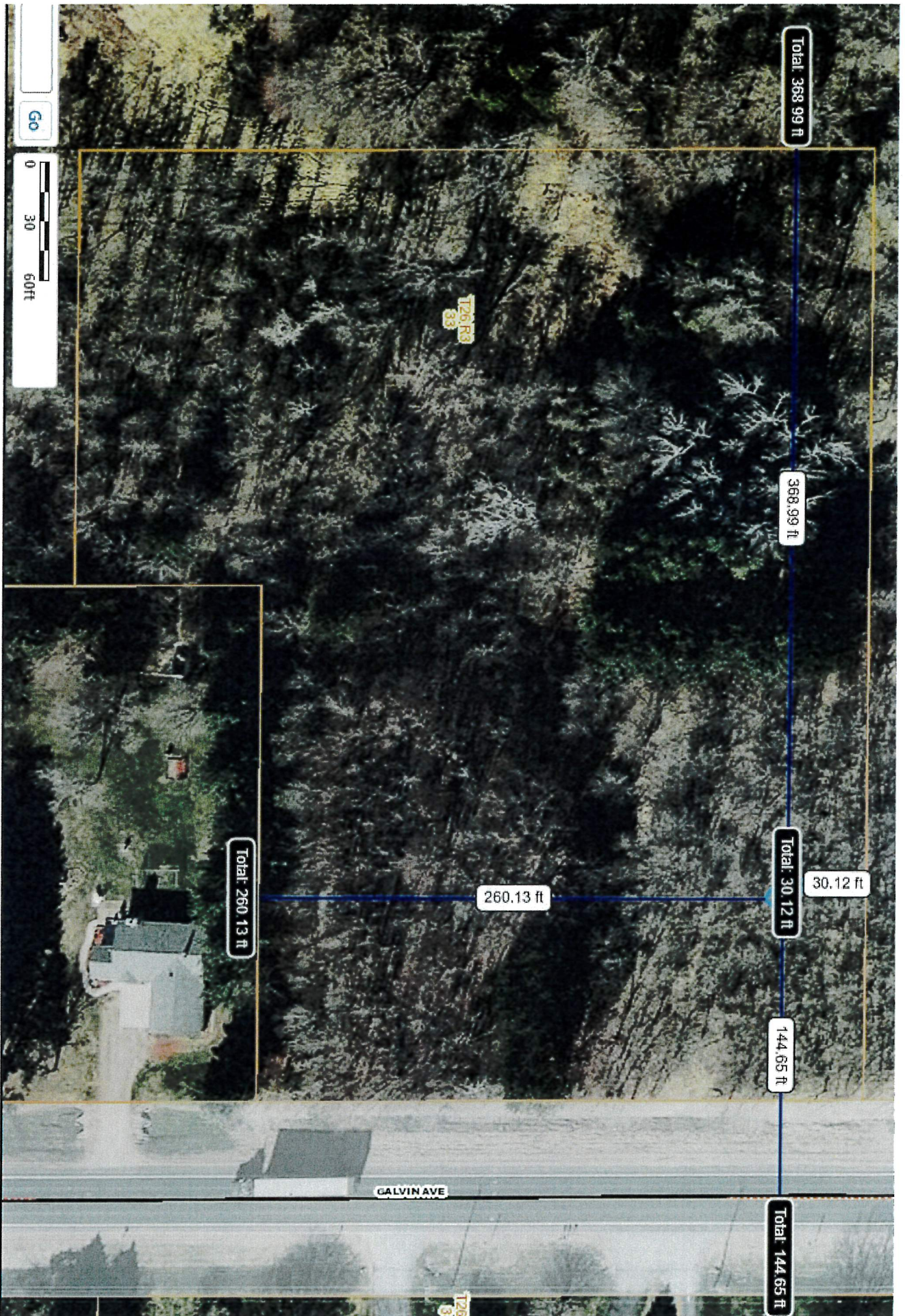
313.12'

150'

PROJECT NO. AWOODC30

GALVIN AVE

AN



↖

Owner (s): GULDAN, AARON D GULDAN, MANDY A		Location: NE1/4 NE1/4,Sect. 33, T26N,R3E	
Mailing Address: AARON D GULDAN MANDY A GULDAN 203977 COUNTY ROAD M STRATFORD, WI 54484 Request Mailing Address Change		School District: 3339 - MARSHFIELD	
Tax Parcel ID Number: 056-2603-331-0968	Tax District: 056-TOWN OF MCMILLAN	Status: Active 12-01-2022	
Alternate Tax Parcel Number:	Government Owned:	Acres: 4.0030	
Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.): SEC 33-26-03 PT OF NE 1/4 NE 1/4 - LOT 2 CSM #19415 DOC #1872805			
Site Address (es): <i>(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)</i> 201432 GALVIN AVE MARSHFIELD, WI 54449			

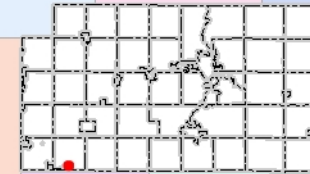
[Printer Friendly Page](#)
[View Interactive Map](#)



Land Information Mapping System

TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3



143.27 0 143.27 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

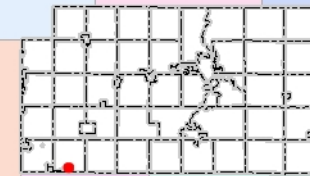
Notes



Land Information Mapping System

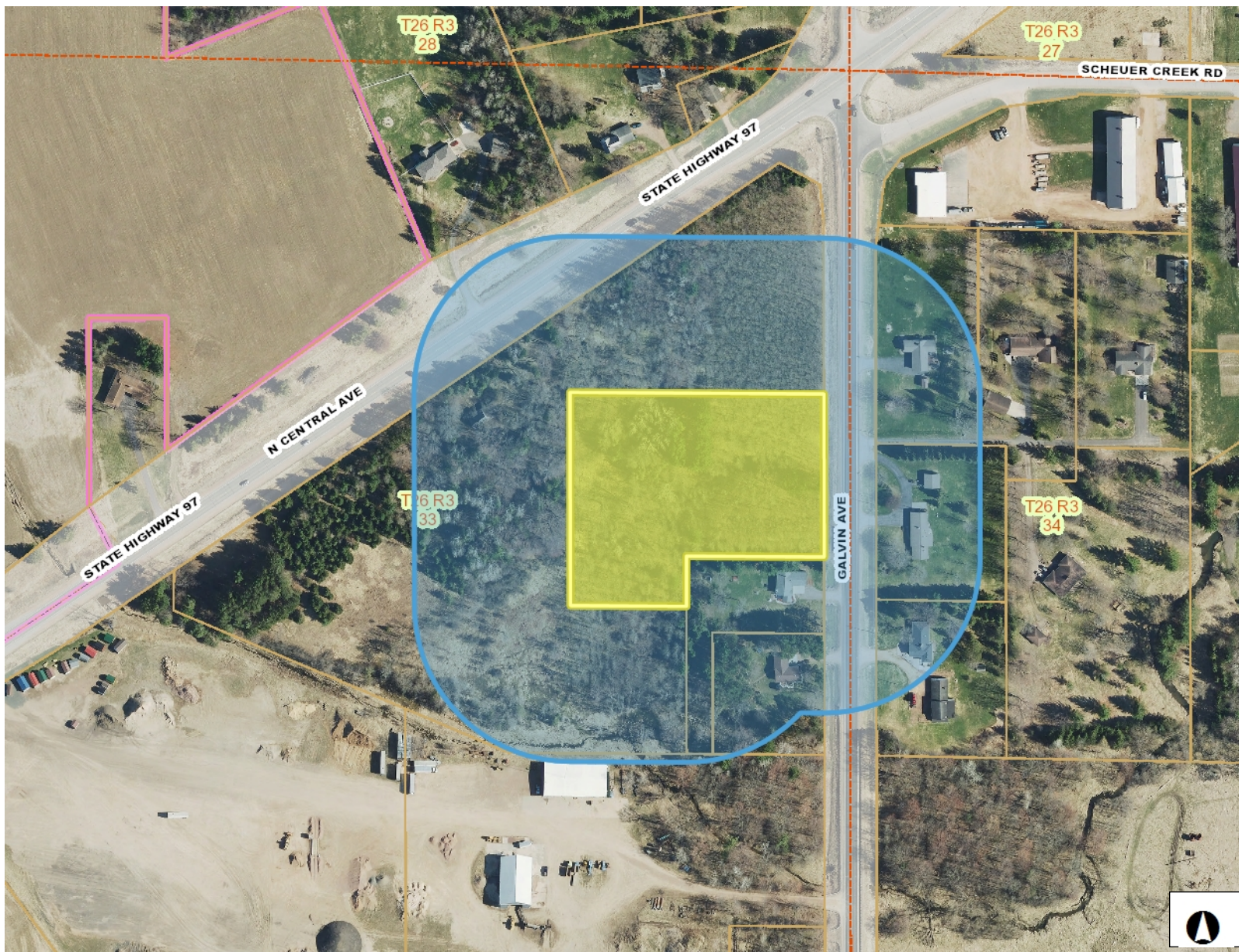
TAYLOR

LINCOLN



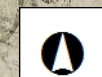
WOOD

PORTAGE



Legend

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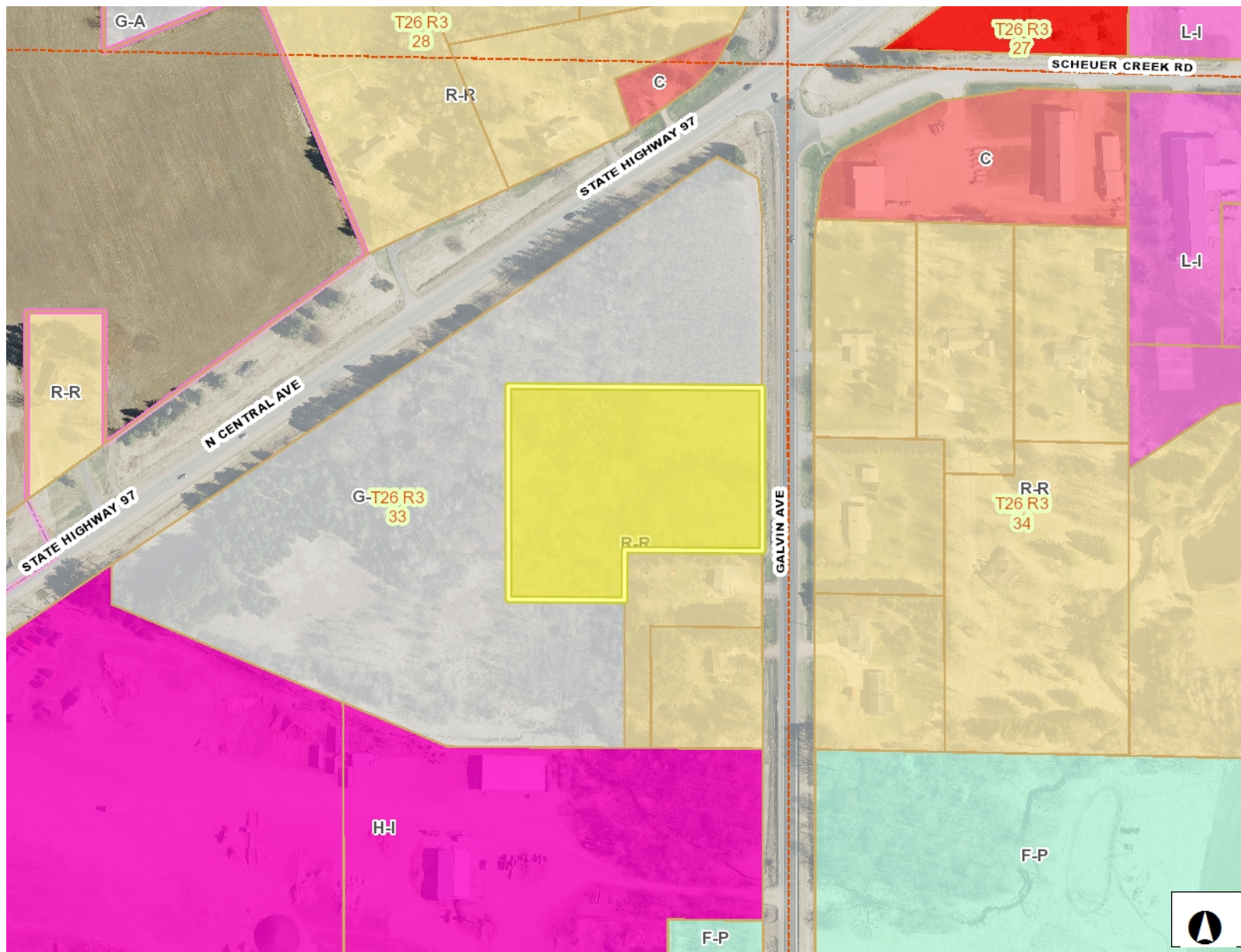
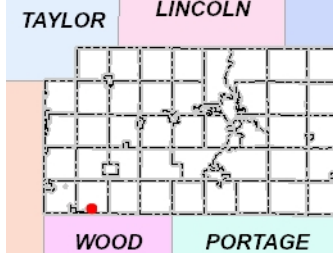


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Notes



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- County Zoning ZCR
 - U-R (Urban Residential)
 - L-D-R (Low Density Residential)
 - R-R (Rural Residential)
 - R-E (Rural Estate)
 - M-H (Manufactured/Mobile Home Park)
 - C (Commercial Regional)
 - N-C (Neighborhood Commercial)
 - B-R (Business Regional)
 - L-I (Light Industrial)
 - H-I (Heavy Industrial)
 - G-A (General Agriculture)
 - F-P (Farmland Preservation)
 - C-V/R-C (Conservancy & Recreation)
- 2020 Orthos Countywide
 - Red: Band_1
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 - Blue: Band_3



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

STATE OF WISCONSIN)
MARATHON COUNTY)
TOWN OF MCMILLAN)

TOWN RESOLUTION OF RECOMENDATION

TO THE MARATHON COUNTY BOARD OF ADJUSTMENT

I, John Kokl, Clerk of the Town of McMillan, Marathon County, State of Wisconsin, do hereby certify that the following is a true and correct copy of a resolution adopted by the Town of McMillan Town Board at a meeting held on the 9th day of MARCH, 2026.

RESOLUTION

WHEREAS, the Marathon County Board of Adjustment is established for the purpose of hearing certain appeals, applications and granting variances in harmony with the general purpose and intent of land use regulations, and

WHEREAS, such a hearing is scheduled to come before the Board affecting lands within the Town of McMillan.

NOW, THEREFORE BE IT RESOLVED that the Town of McMillan Town Board considered on the 9th day of MARCH, 2026, the application of: Aaron Guldán for a conditional use permit per section 17.401.01 of the General Code of Ordinance for Marathon County Chapter 17 Zoning code for the purposes of constructing an accessory structure prior to a principal structure in the RR-Rural Residential zoning district. The property is located in NE ¼ of the NE ¼ of Section 33, Township 26 North, Range 3 East, Town of McMillan, further described as PIN #056.2603.331.0968. Property Address: 201432 Galvin Ave, Marshfield, WI 54449, and hereby recommends:

Marathon County Board of Adjustment **APPROVE** application

Marathon County Board of Adjustment **DENY** application

Comments, conditions and reasons for recommended action:

Clerk John Kokl
Town Board Rob Desjardis
Rory C. B...
Maureen C. F... Carlisle Opitz
David Swenson

NOTE: If you recommend disapproval of this request, please make every effort to send a representative to the Board of Adjustment Public Hearing. Town input at the hearing is always appreciated. Please return this form before April 8th, 2026 to:

Board of Adjustment
Marathon County Conservation, Planning and Zoning Department
1100 Lake View Drive, Suite 400
Wausau, WI 54403



Aaron Guldan
Conditional Use Permit Application
Staff Report, April 23rd, 2026
Marathon County Board of Adjustment

PETITIONER:

Aaron Guldan – 203977 COUNTY ROAD M, STRATFORD, WI 54484

PROPERTY OWNERS:

Aaron Guldan – 201432 GALVIN AVE MARSHFIELD, WI 54449

REQUEST:

The application of Aaron Guldan for a conditional use permit per section 17.401.01 of the General Code of Ordinance for Marathon County Chapter 17 Zoning code for the purposes of constructing an accessory structure prior to a principal structure in the RR-Rural Residential zoning district. The property is located in NE ¼ of the NE ¼ of Section 33, Township 26 North, Range 3 East, Town of McMillan, further described as PIN #056.2603.331.0968. Property Address: 201432 Galvin Ave, Marshfield, WI 54449

PUBLIC HEARINGS/MEETINGS:

- Town of McMillan Town Board Meeting: March 9th, 2026
- Marathon County Board of Adjustment Meeting: April 23rd, 2026; 9AM

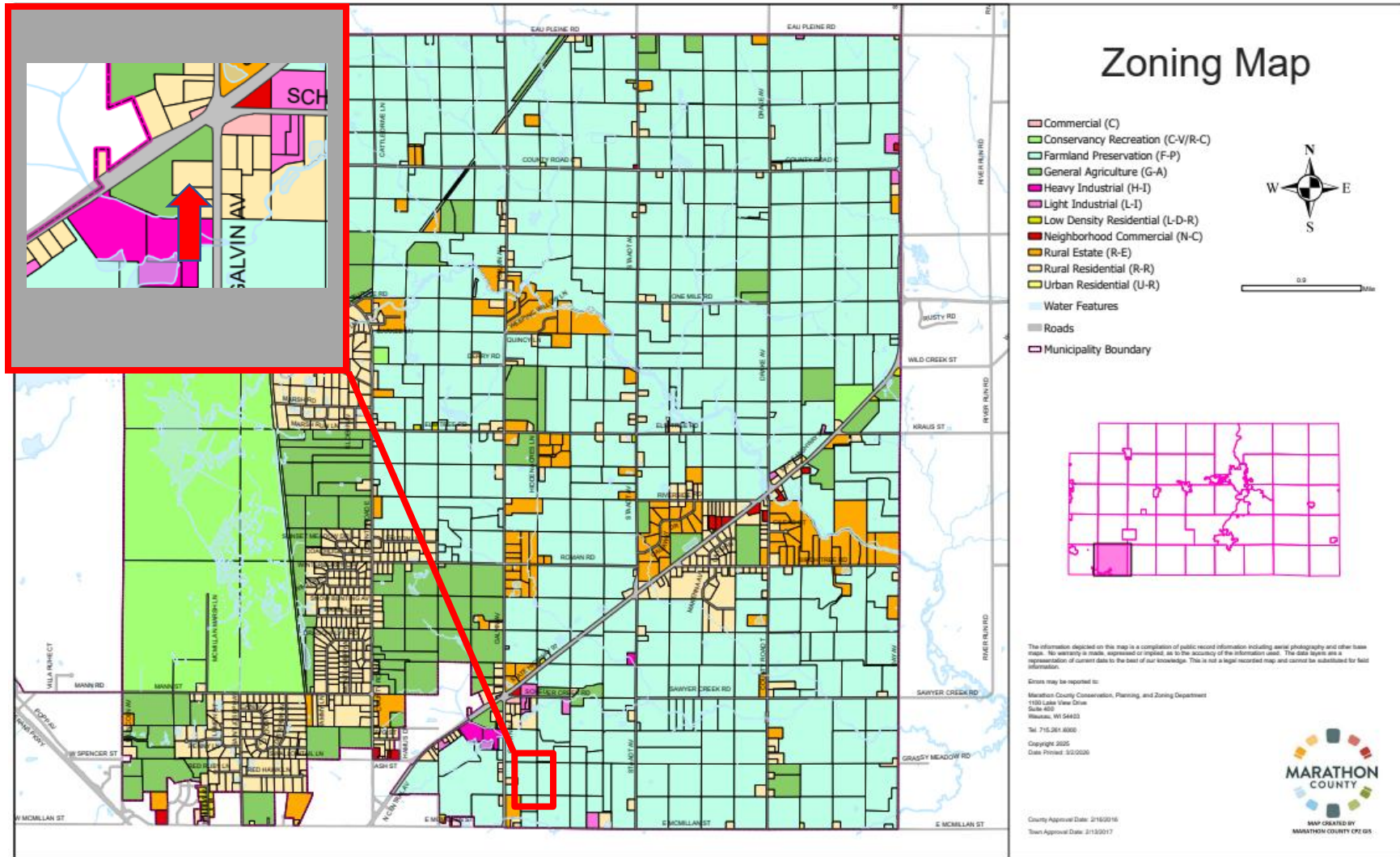
Legal Notification:

A legal advertisement was published in the *Wausau Daily Herald*. Notice of the CUP was also sent by regular mail to adjacent property owners within 300 feet of the subject property.

EXISTING ZONING DISTRICT:

R-R Rural Residential District. The purpose of the R-R district is to accommodate single-family residential use along existing streets, to preserve the rural character while promoting open space single-family residential development (involving the extension of new streets), and to separate agricultural uses from other more extensive community development within the county. Limited agricultural activities are permitted in this district. These areas may or may not be serviced by municipal water and sanitary sewer.

Town of McMillan Zoning Map: The proposed parcel is currently zoned Rural Residential as shown in the map below.

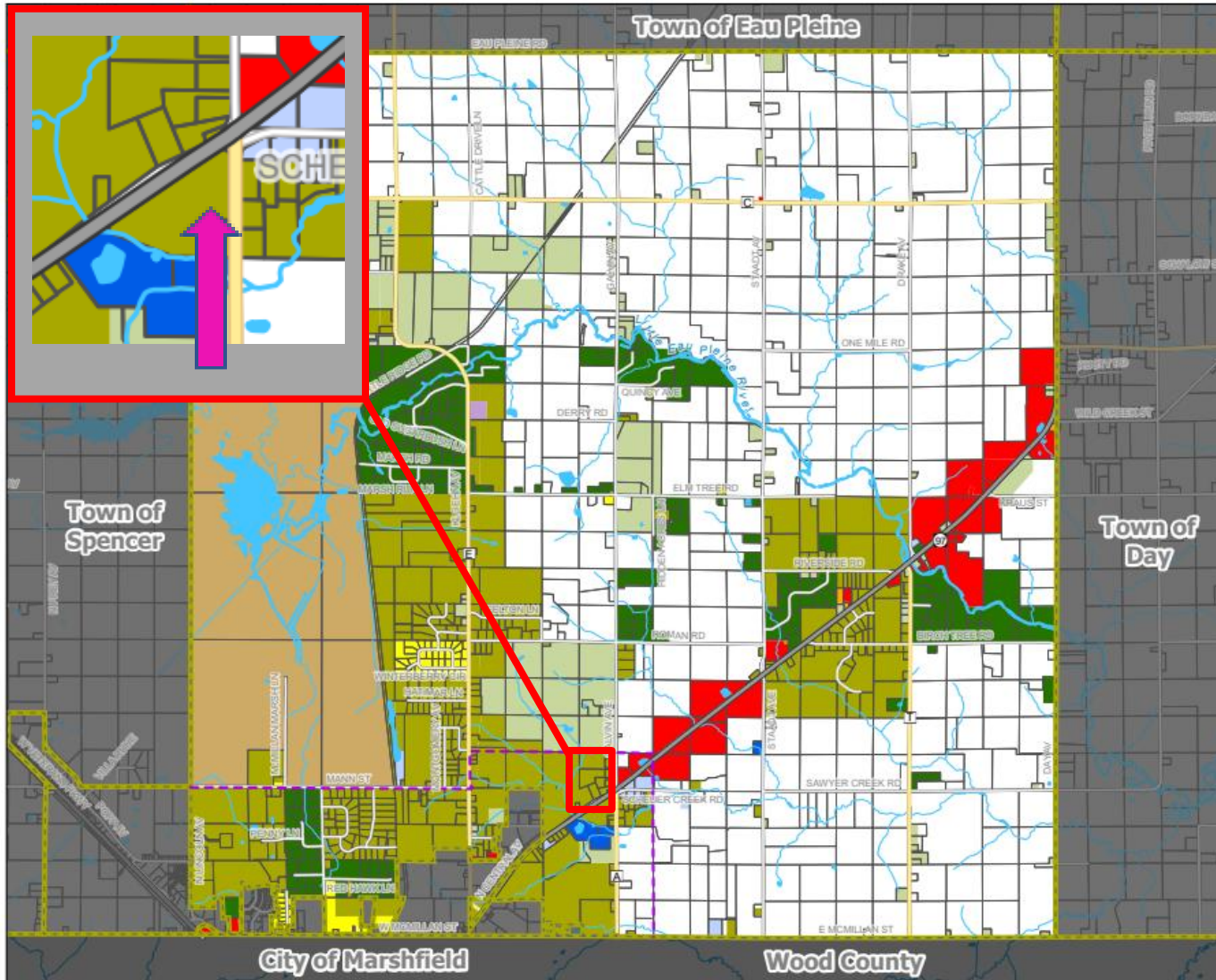


Town of McMillan

Marathon County, Wisconsin

Parcel Acreage: 4 acres

Town Comprehensive Plan Future Land Use Map (2021): The parcel is shown to be designated as Rural Residential, Town of Knowlton's Future Land Use Map



Future Land Use

- Minor Civil Divisions
- Joint Planning Area Boundary
- State Highways
- County Highways
- Local Roads
- ▭ Parcels
- Future Land Use**
- ▭ Single Family Residential
- ▭ Multi-Family Residential
- ▭ Rural Residential
- ▭ Residential Estate
- ▭ Commercial
- ▭ Conservancy
- ▭ Exclusive Agriculture
- ▭ General Agriculture
- ▭ Heavy Industrial
- ▭ Light Industrial
- ▭ Recreational
- ▭ Transportation
- ▭ Water



Source: WisDOT, WI DNR, NCRWPC, Marathon Co
 This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information and data used for reference purposes only. NCRWPC is not responsible for any inaccuracies herein contained.



Prepared By:
**North Central
 Wisconsin Regional
 Planning Commission**
 210 McClellan St., Suite 210, Wausau, WI 54403
 715-849-5510 - staff@ncwrpc.org - www.ncwrpc.org

SPECIFIC PARCEL LIMITATIONS OR NATURAL FEATURES:

- The proposed area is:
 - **Not** located within mapped floodplain
 - **Does Not have** DNR mapped wetlands, or water features on the property.
 - **Is** located within the shoreland overlay district.

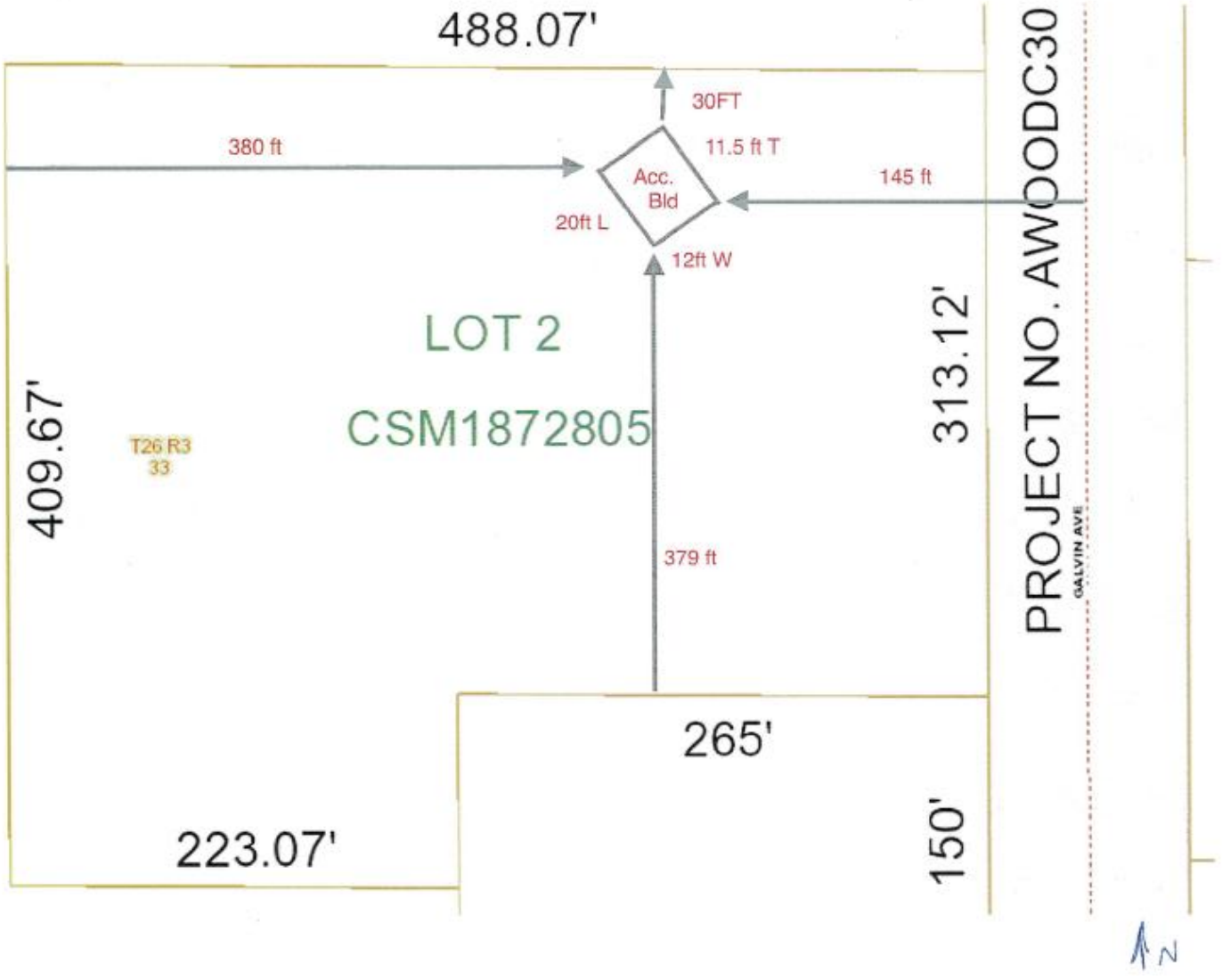
VIOLATIONS

There are no known violations on the property.

Aerial Photo



Site Plans



Site Plan- Staff Illustration



Chapter 17 Sections that apply to this application

Table 3. Uses Permitted by District

Key:		P Permitted Use				C Conditional Use				(Blank) Use Not Permitted				
USE	Residential Districts				Agricultural Districts				Nonresidential Districts					Development Standards
	U-R	L-D-R	R-R	R-E	F-P	G-A	C-V/R-C	N-C	C	B-R	L-I	H-I		
ACCESSORY, TEMPORARY, and OTHER USES														
Accessory Buildings, Structures, and Uses	P	P	P	P	P	P	P	P	P	P	P	P	P	Chapter 17.401
Accessory Building(s) prior to a Principal Structure (For personal/private use and/or accessory to the principal use of the lot)	C	C	C	P	P	P	C							Section 17.401.01(A)

Section 17.401.01	GENERAL STANDARDS APPLICABLE TO ALL ACCESSORY STRUCTURES
--------------------------	---

A. **Principal Structure Required.** In U-R, L-D-R, and R-R districts, accessory structures or buildings shall only be constructed or placed on a lot that contains a principal structure, unless a conditional use permit is obtained from the Board of Adjustment. The structure shall also adhere to any additional conditions placed on the permit by the Board of Adjustment. Refer to [Table 3](#) for all permitted and conditional use options by zoning district.

Original Application Response:

*Applicants response to standards (from petition)

Requesting to place a Accessory Structure on this parcel without a principal structure. The proposed accessory building is a 12x20 structure to be used for storage and recreation.

Section 17.803.01 PURPOSE AND AUTHORITY

- A. **Purpose.** Certain uses are of such a nature, or their effects are as dependent upon specific circumstances as to make impractical the determination in advance of where and when and under what conditions they should be permitted. Provision has been made in this chapter for the determination of such uses as conditional uses. Conditional uses are land uses listed as such in [Table 3](#) Uses Permitted by District. They may be established in such district only upon approval by the Board of Adjustment.

The procedures and standards in this Chapter are intended to provide a consistent and uniform method for review of conditional use permit proposals. These review procedures and standards are intended to accomplish the following purposes:

1. Ensure full compliance with the standards contained in this ordinance and other applicable local ordinances, and state and federal laws.
2. Achieve efficient use of the land.
3. Prevent adverse impact on adjoining or nearby properties.
4. Protect natural resources.
5. Facilitate development in accordance with the County's land use objectives per the Comprehensive Plan.

Section 17.803.02 APPLICATION PROCEDURES

- I. **Board of Adjustment Determination.** The Board of Adjustment shall review the application for conditional use, together with the previous meetings' findings and reports and recommendations from the Zoning Administrator, public safety officials, and other reviewing agencies. The Board of Adjustment shall then make a determination on the conditional use application, as set forth in Section [17.803.03](#) and based on the Substantial Evidence, other requirements and standards of this ordinance. The Board of Adjustment may approve, approve with conditions, or deny a conditional use request as follows:
1. **Approval.** Upon determination by the Board of Adjustment that the final plan for conditional use is in compliance with the standards and requirements of this ordinance and other applicable ordinances and laws, approval shall be granted.
 2. **Approval with Conditions.** The Board of Adjustment may impose reasonable conditions with the approval of a conditional use proposal, to the extent authorized by law. Conditions imposed shall meet all of the following requirements:
 - a. Conditions must be to the extent of practical and measurable
 - b. Conditions shall be designed to protect natural resources, the health, safety, and welfare and the social and economic well-being of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.
 - c. Conditions shall be related to the valid exercise of the police power and purposes which are affected by the proposed use or activity.
 - d. Conditions shall be necessary to meet the intent and purpose of this ordinance, related to the standards established in this ordinance for the land use or activity under consideration, and necessary to insure compliance with those standards. These conditions may include, but are not limited to the following:
 - 1) Permit duration, transfer or renewal
 - 2) Setback and yard dimensions.
 - 3) Specified sewage disposal and water supply facilities.
 - 4) Landscaping and planting screens.
 - 5) Operational controls.
 - 6) Sureties.
 - 7) Deed restrictions.
 - 8) Location of structures, docks, piers or signs.
 - 9) Location and amount of parking facilities.
 - 10) Type of construction.
 - 11) The obtaining of other permits required by the state or federal government agencies, and other county requirements based upon other ordinances as conditions that must be met before issuance of such permit.
 1. **Denial.** Upon determination by the Board of Adjustment that a conditional use proposal does not comply with the spirit or intent or standards and regulations set forth in this ordinance, or would constitute a nuisance by reason of noise,

dust, smoke, odor, or other similar factors, or otherwise would be injurious to the public health, safety, welfare, and orderly development of the county, the conditional use proposal shall be denied.

Section 17.803.03 BASIS OF DETERMINATION

- A. **Conformance with Requirements.** The applicant shall be required to establish by clear and convincing evidence that the applicable standards of this Chapter, the specific standards pertinent to each conditional use, including site plan review criteria set forth for applicable site development standards for specific uses set forth elsewhere in this Chapter (refer to Chapter [17.204](#), Development Standards for Specific Uses) have been met.
- B. **General Standards.** The Board of Adjustment shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards:
1. **Compatibility with Adjacent Uses.** The proposed conditional use shall be designed, constructed, operated and maintained to be compatible with uses on surrounding land. The site design shall minimize the impact of site activity on surrounding properties. In determining whether this requirement has been met, consideration shall be given to:
 - a. The location and screening of vehicular circulation and parking areas in relation to surrounding development.
 - b. The location and screening of outdoor storage, outdoor activity or work areas, and mechanical equipment in relation to surrounding development.
 - c. The hours of operation of the proposed use. Approval of a conditional use may be conditioned upon operation within specified hours considered appropriate to ensure minimal impact on surrounding uses.
 - d. The bulk, placement, and materials of construction of the proposed use in relation to surrounding uses.
 2. **Comprehensive Plan.** The proposed conditional use will be harmonious with and in accordance with the general objectives or with any specific objective of the town and county comprehensive plan.
 3. **Compliance with Applicable Regulations.** The proposed conditional use shall be in compliance with all applicable federal, state, and local laws and ordinances.
 4. **Use of Adjacent Property.** The proposed conditional use shall not interfere with the use and enjoyment of adjacent property.
 5. **Public Services.** The proposed conditional use will be served adequately by essential public facilities and services including but not necessarily limited to utilities, highways, streets, police and fire protection, drainage structures, refuse disposal, and school(s); unless the project proposal contains an acceptable plan for providing necessary services or evidence that such services will be available by the time the conditional use is completed.
 6. **Impact of Traffic.** The location of the proposed conditional use shall, within the zoning district, minimize the impact of traffic generated by the proposed use. In determining whether this requirement has been met, consideration shall be given to the following:
 - a. Proximity and access to major thoroughfares.
 - b. Estimated traffic generated by the proposed use.
 - c. Proximity and relation to intersections.
 - d. Adequacy of driver sight distances.
 - e. Location of and access to off-street parking.
 - f. Required vehicular turning movements.
 - g. Provision of pedestrian traffic (if applicable).
 7. **Enhancement of Surrounding Environment.** The proposed conditional use shall provide the maximum feasible enhancement of the surrounding environment and shall not unreasonably interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value. In determining whether this requirement has been met, consideration shall be given to:
 - a. The provision of landscaping and other site amenities. Provision of additional landscaping over and above the specific requirements of this Ordinance may be required as a condition of approval of a conditional use.
 - b. The bulk, placement, and materials of construction of proposed structures in relation to surrounding uses.
 8. **Impact on Public Health, Safety, and Welfare.** The proposed conditional use shall not involve any activities, processes, materials, equipment, or conditions of operation, and shall not be located or designed in a manner that is detrimental to public health, safety, and welfare. In determining whether this requirement has been met, consideration shall be given to the production of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, and environmental impact.

9. Isolation of Existing Uses. The location of the proposed conditional use shall not result in a small residential area being substantially surrounded by non-residential development, and further, the location of the proposed conditional use shall not result in a small non-residential area being substantially surrounded by incompatible uses.
10. Substantial Evidence. Substantial evidence means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions.

RECOMMENDATIONS FOR THE CUP

If granted, the CUP should consider including the following conditions:

- The Board of Adjustment should specify in their decision (and subsequently the letter that is issued to the applicant)
 - All other required federal, state, and local permits and approvals shall be obtained and followed.

TOWN RECOMMENDATION:

The **Town of McMillan** Town Board Recommended **Approval** to Marathon County's Board of Adjustments.

STATE OF WISCONSIN)
MARATHON COUNTY)
TOWN OF MCMILLAN)

TOWN RESOLUTION OF RECOMENDATION

TO THE MARATHON COUNTY BOARD OF ADJUSTMENT

I, John Koki, Clerk of the Town of McMillan, Marathon County, State of Wisconsin, do hereby certify that the following is a true and correct copy of a resolution adopted by the Town of McMillan Town Board at a meeting held on the 9th day of MARCH, 2026.

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Marathon County Board of Adjustment **APPROVE** application

Marathon County Board of Adjustment **DENY** application

Comments, conditions and reasons for recommended action:

Clerk: [Signature]
Town Board: [Signatures]

NOTE: If you recommend disapproval of this request, please make every effort to send a representative to the Board of Adjustment Public Hearing. Town input at the hearing is always appreciated. Please return this form before April 8th, 2026 to:

Board of Adjustment
Marathon County Conservation, Planning and Zoning Department
1100 Lake View Drive, Suite 400
Wausau, WI 54403

THE STAFF RESERVE THE RIGHT TO AMEND THIS REPORT BASED ON NEW EVIDENCE PRESENTED PRIOR TO AND/OR DURING THE PUBLIC HEARING.

DECISIONS OF THE BOARD ARE SUBJECT TO APPEAL AS PROVIDED IN SS.59.694(10) WIS. STATS.

RESPECTFULLY SUBMITTED:

A handwritten signature in black ink, appearing to be "Shawn H.", written in a cursive style.

SIGNATURE

DATE

4/6/2026



February 23, 2026

Shad Harvey
Marathon County
Zoning & Planning
210 River Dr
Wausau, WI 54403-5449

Re: Conditional Use Permit Application, Ziolkowski Pit

To Whom This May Concern:

Please find herein an application by American Asphalt of Wisconsin for a Conditional Use Permit for a temporary asphalt plant at the following locations:

- Ziolkowski Pit, Town of Reid

We plan to do asphalt mix production at this location for various projects, including providing asphalt to Marathon County Highway Department. We would like a permit for operation starting May 1, 2026 – Nov 20, 2027. American is asking for a 2 year CUP, to cover the possibility of the need for a portable plant in this location during the 2027 construction season.

A portable drum mix asphalt plant will be used to provide hot mix asphalt for the projects. The normal plant operating hours being requested are 6:00 AM to 7:00 PM, Monday through Friday and Saturday from 6:00am to 3:00pm.

I am attaching a map and a plant layout diagram for your review. The plant layout would encompass approx. 4 acres, including aggregate stockpiles

American Asphalt provides portable sanitary facilities and dumpsters for solid waste disposal at each location. Both are serviced as needed for the duration for the project.

All company asphalt plants are tested for air quality compliance biannually and meet all requirements of the Wisconsin Department of Natural Resources. In a program sponsored by the Wisconsin Department of Natural Resources and the Wisconsin Asphalt Paving Association, American Asphalt is a recipient of the Hot Mix Asphalt Environmental leadership Award for demonstration environmental excellence in their asphalt plant operations.

If you have any questions, please contact me.

Sincerely,
American Asphalt of Wisconsin

Matt Eslinger
Division Manager

APPLICATION FOR CONDITIONAL USE PERMIT MARATHON COUNTY BOARD OF ADJUSTMENT

The applicant hereby requests the Board of Adjustment to hear and decide upon this application as prescribed by Section 17.803 of the Marathon County Zoning Ordinance. Use a separate sheet if necessary.

Name of Applicant: American Asphalt of WI
 Mailing Address: P.O. Box 98 Mosine WI 54455
 Telephone: 715-693-5220 Fax: 715-693-5220
 Cellphone: _____ Email: matt.eslinger@americanasphaltofwi.com
 Owner Name: (if different) Milestone Materials
 Mailing Address: P.O. Box 98 Mosine WI 54455
 Telephone: 715-693-5220 Fax: 715-693-5220

PARCEL INFORMATION

Parcel ID # (PIN): 064-2709-294-0990
 (If more than one parcel is included in this application, list all parcel numbers & legal descriptions on a separate sheet.)
 Legal Description: Government Lot: _____ or SW ¼ SE ¼ Section: 29 T 27 N, R 9 E.
 Town of Reid
 Lot _____ Block _____ Subdivision _____
 Property Address: 21155 Budnik Rd Hatley WI 54440
 Parcel size: 38.57 Acres or _____ ft² Zoning District: _____

Present use of property (List all current uses, i.e. home, store, farm field, wooded, etc.):

Sand & Gravel Pit

Existing improvements (Structures, well, septic, etc.):

None

PROPOSAL

Describe specifically the nature of this request (be sure to list all proposed uses of the parcel). What do you plan to do?

About 4 acres of the pit will be used as a temporary asphalt plant site

If this application is for a use that will be restricted to part of the parcel, specify the exact dimensions of the affected area.

Please see attached plant diagram

Provide the following information if this box is checked

Proposal has additional development standards in Section 17.204.61. Explain how your proposal meets or exceeds these requirements.

The temporary plant will be located in the area shown on attached map, which is in the permitted non-metallic mine & at least 100' from any residence. American Asphalt is asking for a CUP from 5-1-26 thru 11-20-27. American would like to request the hours of

Monday - Friday 6am - 7pm & Saturday 6:00am - 3:00pm. American will spray chloride on the travel route to suppress dust. A neutralizer is added to the asphalt cement to eliminate odor.

Use separate/additional sheet(s) if necessary

INSTRUCTIONS TO APPLICANT

1. Be sure to complete **all items** on the application. This includes a **brief, but complete explanation** of the current use and proposed new use.
2. Prepare a **map at a scale which is reproducible** (11" x 17" or smaller). For maps larger than 11" x 17", be prepared to provide as many copies as needed for transmittal. In no instance may the scale of the map be less than 1 inch equals 200 feet. There are instances where a cross-section of the property or contours will be helpful, and in some cases one or both may be required. Narrative or photos may be included as supporting documentation.

At a minimum the map must include:

- The location, dimensions, and parcel identification number of the lot or lots including a legal description.
- Location of any and all nearby public and private streets.
- Dimensions of the lot and the location of all existing and proposed buildings or structures, and location of existing or proposed private onsite wastewater treatment (septic) system.
- Required front, rear, and side yard areas, open space, and parking.
- On residential parcels, the number of dwelling units contained within each building and proposed number of bedrooms.
- Location and dimensions of all buildings or structures to be erected, structurally altered, or moved.
- Wetlands and floodplains
- Screening/Buffers
- Lighting
- Parking

3. **Include fee** when you submit the application. Please make checks payable to Marathon County.

We cannot consider an application complete until the following are submitted to this office:

<i>Check if submitted</i>	<i>Initial of staff</i>	
<input checked="" type="checkbox"/>	SH	Completed application including signatures.
<input checked="" type="checkbox"/>	SH	Map with all required information.
<input checked="" type="checkbox"/>	SH	Additional documents, as needed (lot combination forms, hunting/fishing shelter application, etc.)
<input checked="" type="checkbox"/>	SH	Zoning Permit application
<input checked="" type="checkbox"/>	ND	Fee

Please contact the Marathon County Conservation, Planning and Zoning Department with any questions: 715-261-6000.

IMPORTANT: The applicant or authorized representative **must be present at the hearing** or Board **may deny** the application without prejudice.

<p style="text-align: center;"><i>Matt Estberg</i></p> <hr/> <p>Owner Signature (required)</p>	<p style="text-align: center;">2-23-26</p> <hr/> <p>Date</p>
<p style="text-align: center;"><i>Matt Estberg</i></p> <hr/> <p>Agent / Person responsible for work <i>Signature</i> (required)</p>	<p style="text-align: center;">2-23-26</p> <hr/> <p>Date</p>

Conditional Use Permits expire six (6) months from the latest date of signature on the approval letter signed by Chairman and the Secretary of the Board of Adjustment if the proposed construction or preparation of land for use has not commenced. The Zoning Administrator may grant an extension for up to six (6) months upon show of valid cause.

<p><u>Return to:</u></p> <p>Board of Adjustment Marathon County CPZ Department 210 River Drive Wausau, WI 54403-5449</p>	<p>Telephone: 715-261-6000 Toll free within Marathon County: 1-800-236-0153 Facsimile: 715-261-6016</p>
--	---

For office use

Amount Received: \$ 6065

For office use

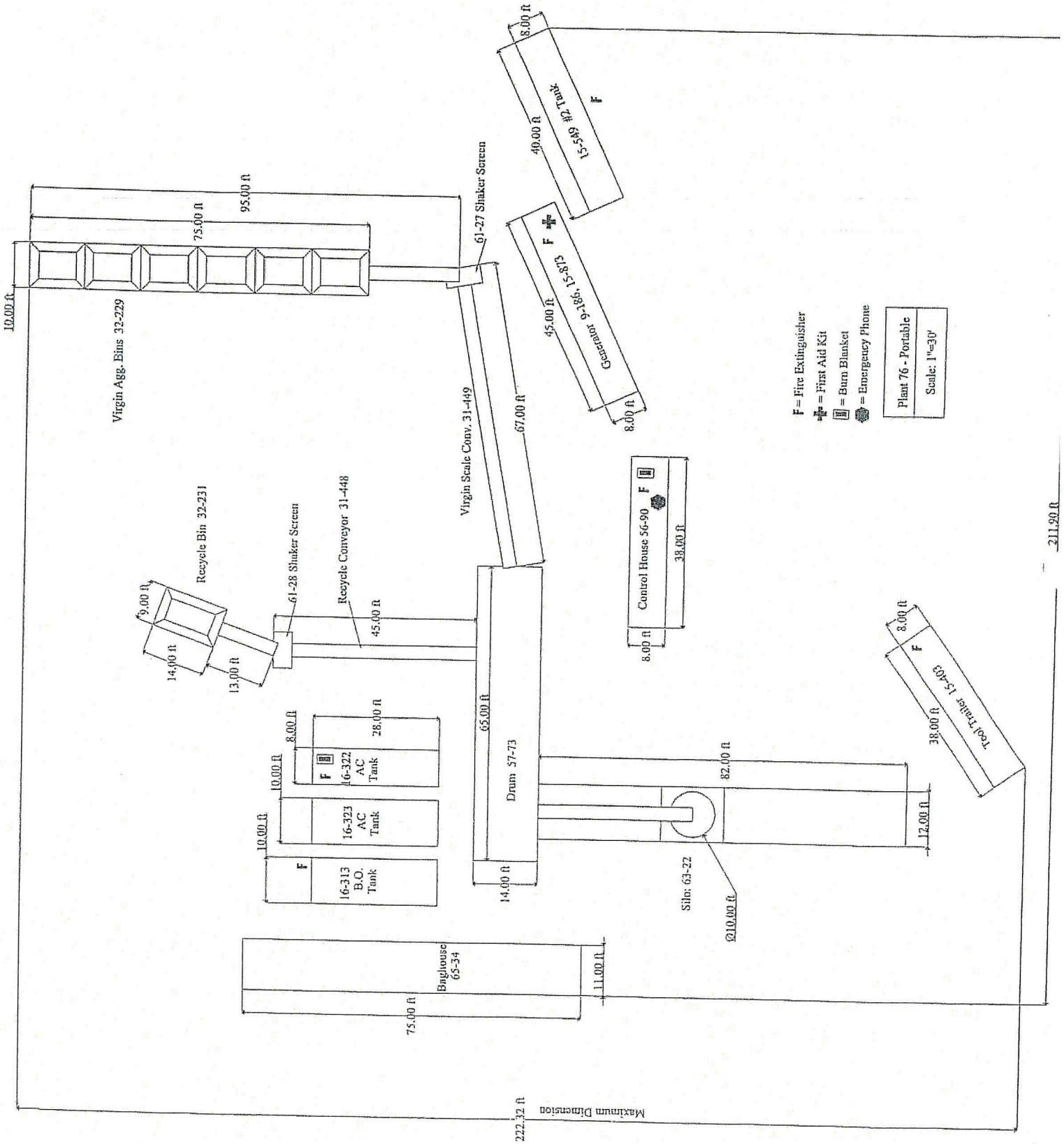
Date Stamp:

RECEIVED

FEB 24 2026

MARATHON CO. CONSERVATION,
PLANNING & ZONING DEPT.

For office use



- F = Fire Extinguisher
- ☒ = First Aid Kit
- ☒ = Burn Blanket
- ☒ = Emergency Phone

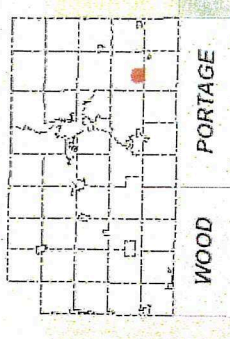
Plant 76 - Portable
Scale: 1"=30'





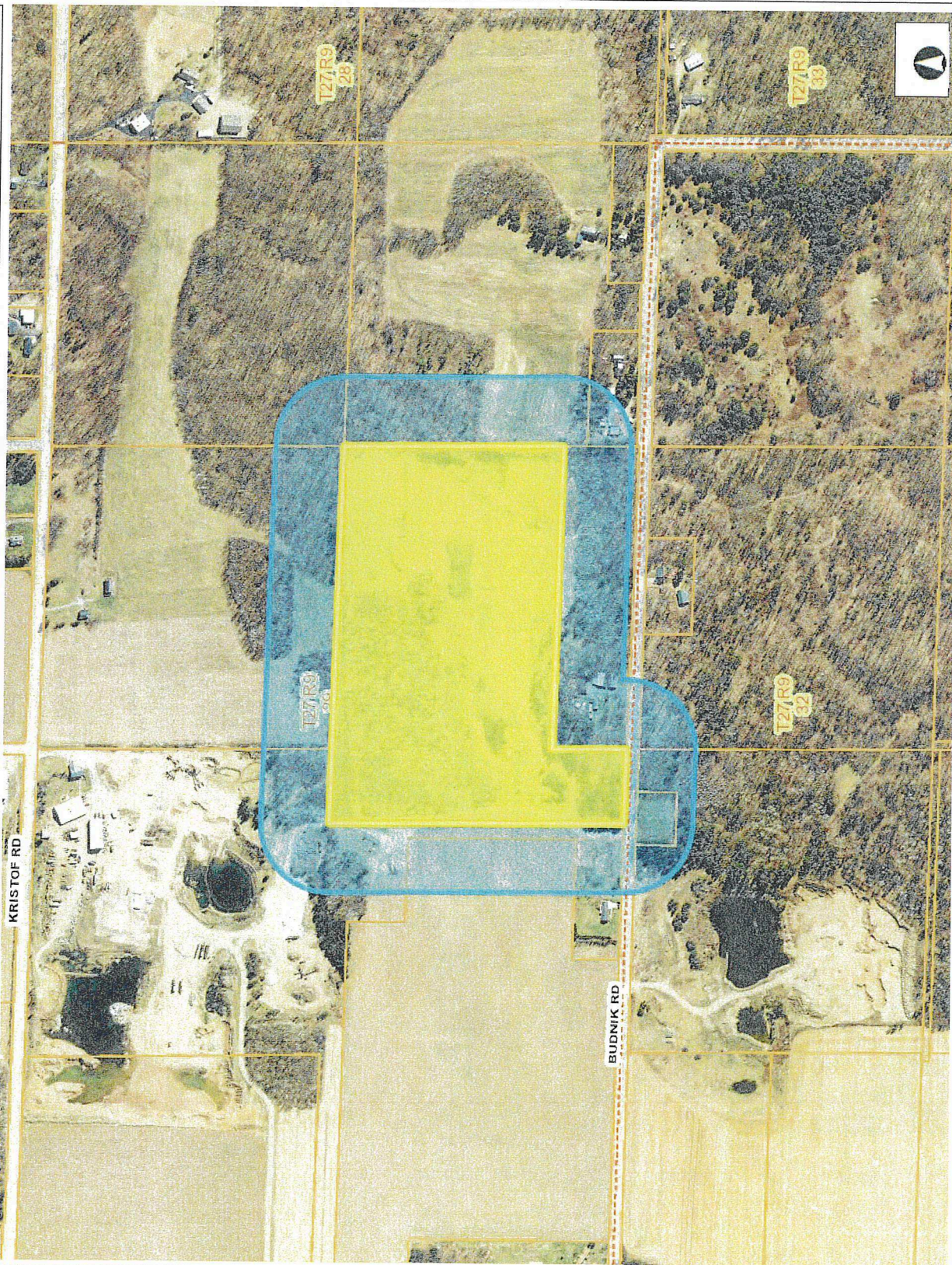
Land Information Mapping System

TAYLOR LINCOLN



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2020 Orthos Countywide
- Red: Band_1
- Green: Band_2
- Blue: Band_3



324.75 0 324.75 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

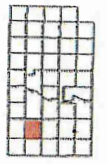
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

4500E 4900E 5300E 5700E 6100E 6500E 6900E 7300E

2500N 2100N 1700N 1300N 900N 500N 100N

SEE PAGE 61

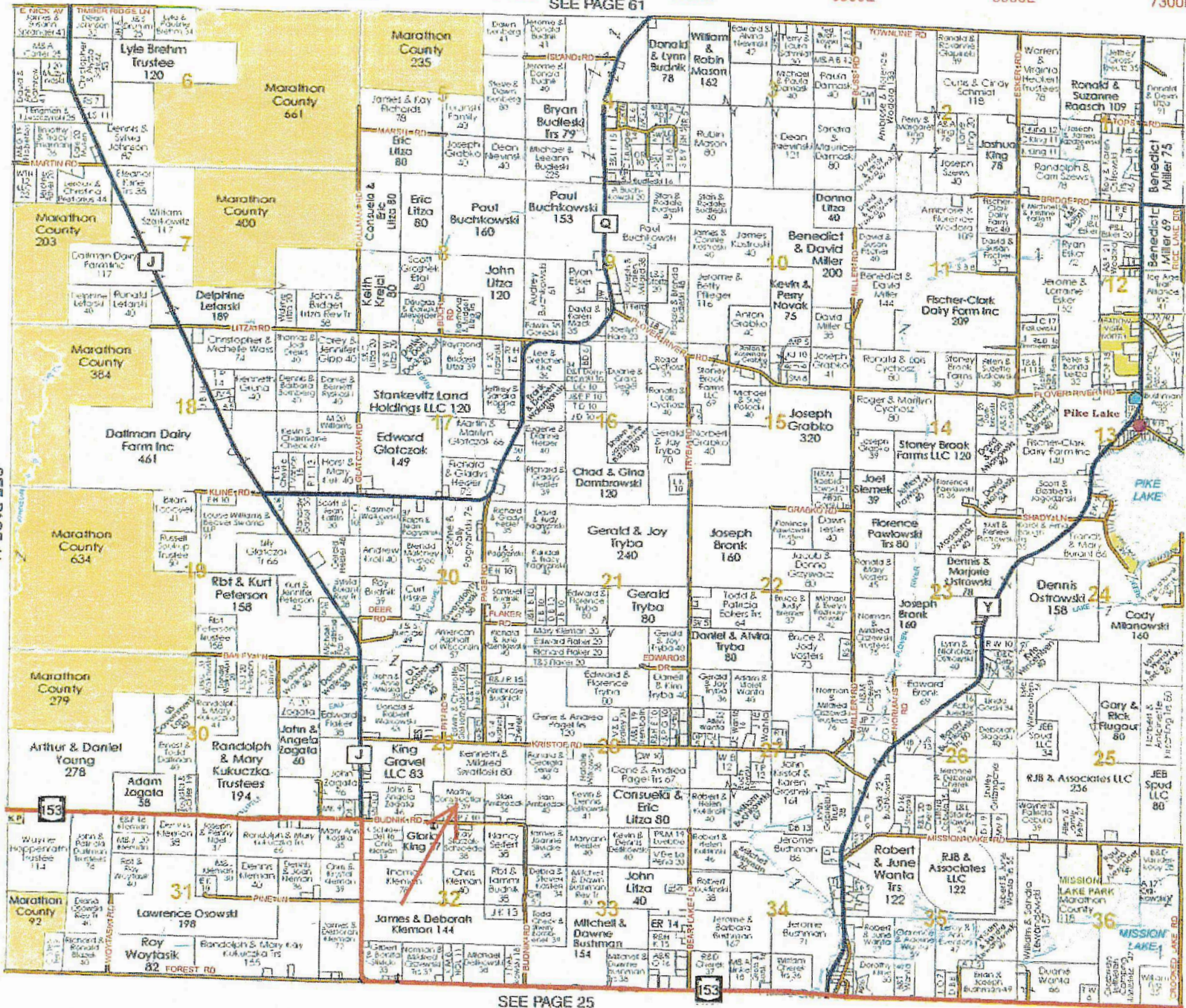


Reid



Township 27N - Range 9E

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SEE PAGE 45

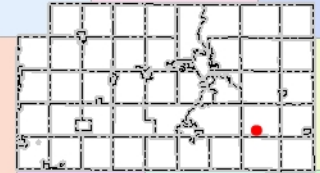
SEE PAGE 25



Land Information Mapping System

TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

145.83 0 145.83 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

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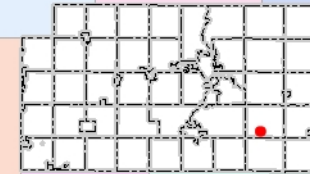
Notes



Land Information Mapping System

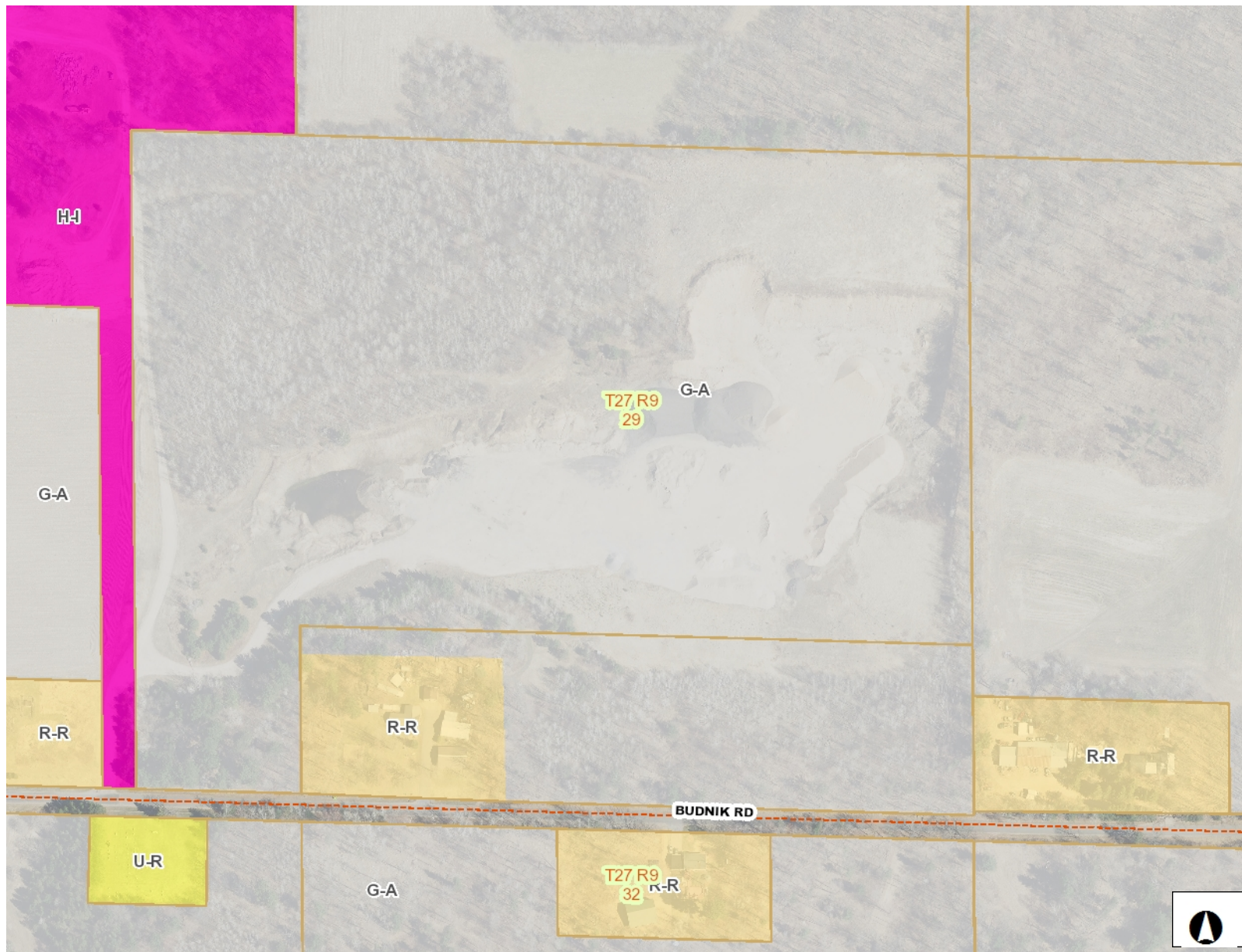
TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- County Zoning ZCR
 - U-R (Urban Residential)
 - L-D-R (Low Density Residential)
 - R-R (Rural Residential)
 - R-E (Rural Estate)
 - M-H (Manufactured/Mobile Home Park)
 - C (Commercial Regional)
 - N-C (Neighborhood Commercial)
 - B-R (Business Regional)
 - L-I (Light Industrial)
 - H-I (Heavy Industrial)
 - G-A (General Agriculture)
 - F-P (Farmland Preservation)
 - C-V/R-C (Conservancy & Recreation)
- 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

145.83 0 145.83 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

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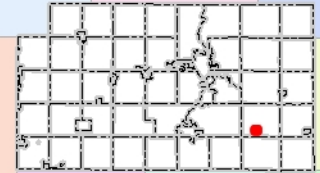
Notes



Land Information Mapping System

TAYLOR

LINCOLN

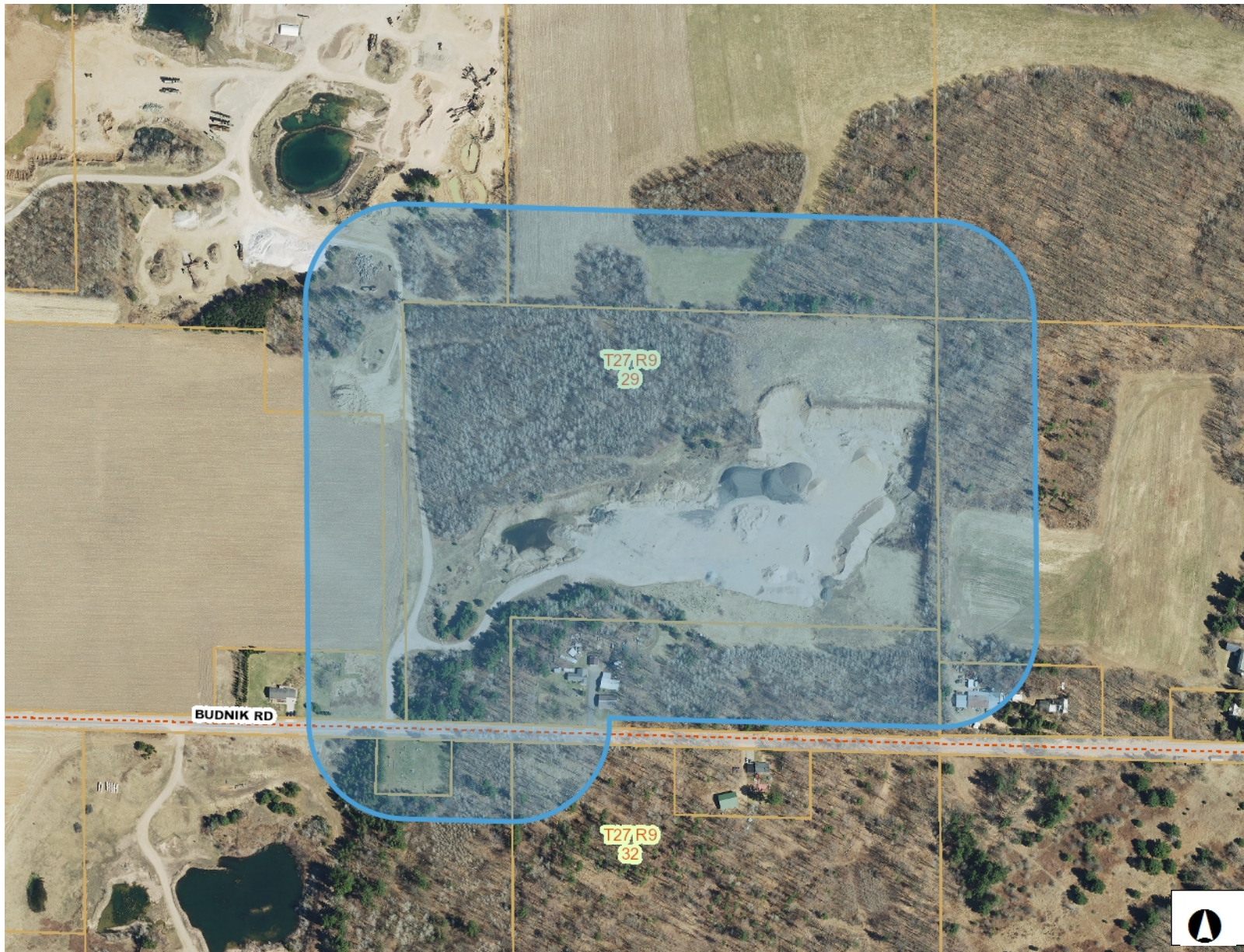


WOOD

PORTAGE

Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3



229.06 0 229.06 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

STATE OF WISCONSIN)
MARATHON COUNTY)
TOWN OF REID)

TOWN RESOLUTION OF RECOMENDATION

TO THE MARATHON COUNTY BOARD OF ADJUSTMENT

I, Kaitlin Kopplin, Clerk of the Town of Reid Marathon County, State of Wisconsin, do hereby certify that the following is a true and correct copy of a resolution adopted by the Town of Reid Town Board at a meeting held on the 10th day of March, 2026.

RESOLUTION

WHEREAS, the Marathon County Board of Adjustment is established for the purpose of hearing certain appeals, applications and granting variances in harmony with the general purpose and intent of land use regulations, and

WHEREAS, such a hearing is scheduled to come before the Board affecting lands within the Town of Reid.

NOW, THEREFORE BE IT RESOLVED that the Town of Reid Town Board considered on the 10th day of March, 2026, the application of: American Asphalt of WI on behalf of Mathy Construction Company (Milestone Materials) for a conditional use permit per section 17.204.61 of the General Code of Ordinances for Marathon County Chapter 17 Zoning code for the purposes of operating a concrete and/or blacktop mix plant, processing, stockpiling, and recycling of road building materials in the G-A (General Agriculture) zoning district. The property is located in the Southeast ¼ of the Southwest ¼ and the Southwest ¼ of the Southeast ¼ of Section 29, Township 27 North, Range 9 East, Town of Reid, further described as PIN# 064.2709.294.0990. Property Address: 211155 Budnik Rd, Hatley, WI 54440.

, and hereby recommends:

Marathon County Board of Adjustment **APPROVE** application

Marathon County Board of Adjustment **DENY** application

Comments, conditions and reasons for recommended action:

Clerk Kaitlin Kopplin
Town Board Bob Kuebler
Scott
Denise Miller

NOTE: If you recommend disapproval of this request, please make every effort to send a representative to the Board of Adjustment Public Hearing. Town input at the hearing is always appreciated. Please return this form before **April 9, 2026** to:

Board of Adjustment
Marathon County Conservation, Planning and Zoning Department
1100 Lake View Drive, Suite 400
Wausau, WI 54403



**American Asphalt of WI
on behalf of
Mathy Construction Company (Milestone Materials)
Conditional Use Permit Application
Staff Report, April 23rd, 2026
Marathon County Board of Adjustment**

PETITIONER:

American Asphalt of WI – PO Box 98, Mosinee, WI 54455

PROPERTY OWNERS:

Milestone Materials – PO Box 98, Mosinee, WI 54455

REQUEST:

The application of American Asphalt of WI on behalf of Mathy Construction Company (Milestone Materials) for a conditional use permit per section 17.204.61 of the General Code of Ordinances for Marathon County Chapter 17 Zoning code for the purposes of operating a concrete and/or blacktop mix plant, processing, stockpiling, and recycling of road building materials in the G-A (General Agriculture) zoning district. The property is located in the Southeast ¼ of the Southwest ¼ and the Southwest ¼ of the Southeast ¼ of Section 29, Township 27 North, Range 9 East, Town of Reid, further described as PIN# 064.2709.294.0990. Property Address: 211155 Budnik Rd, Hatley, WI 54440.

PUBLIC HEARINGS/MEETINGS:

- Town of Reid Town Board Meeting: March 10th, 2026
- Marathon County Board of Adjustment Meeting: April 23th, 2026; 9AM

Legal Notification:

A legal advertisement was published in the *Wausau Daily Herald*. Notice of the CUP was also sent by regular mail to adjacent property owners within 300 feet of the subject property.

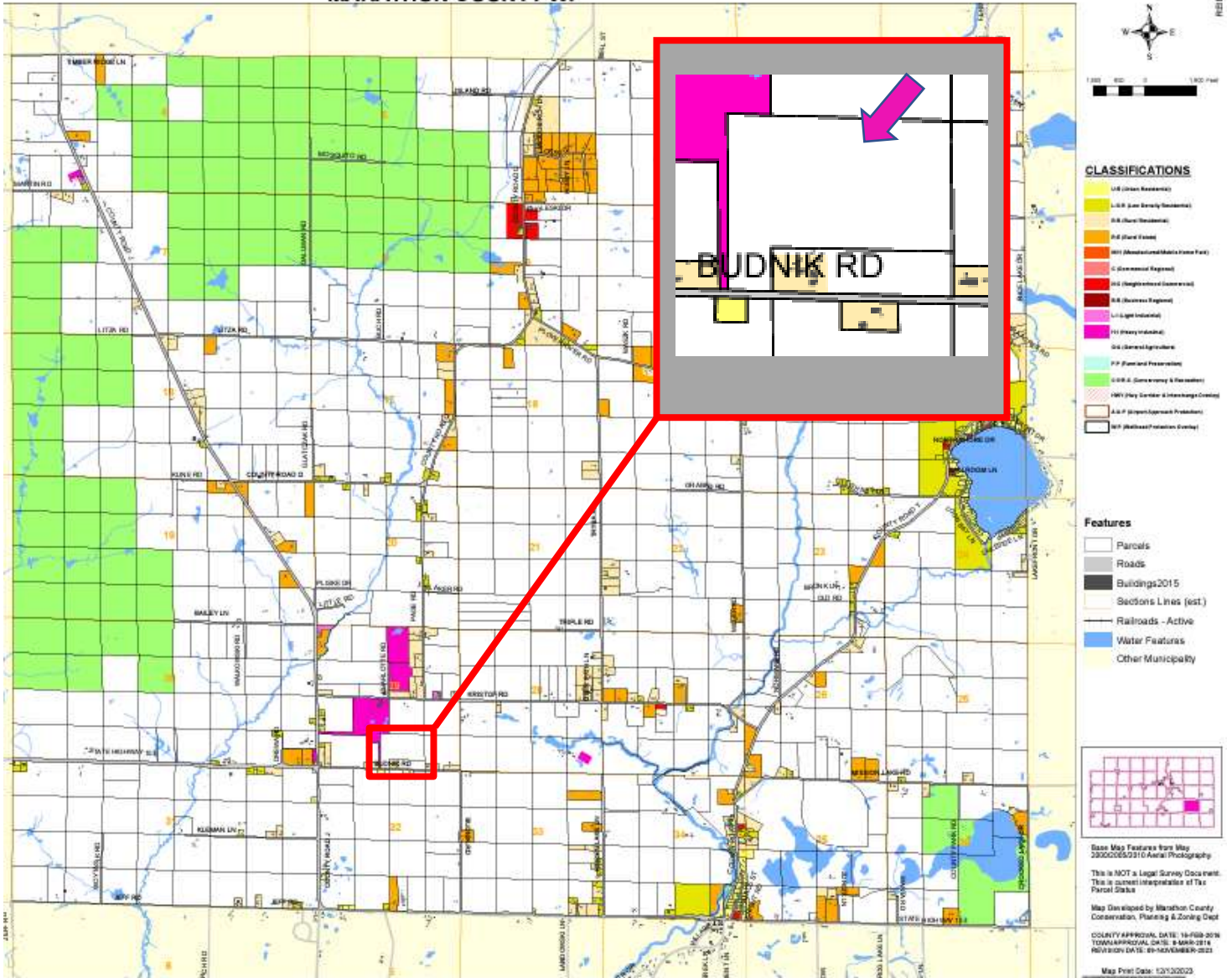
EXISTING ZONING DISTRICT:

G-A General Agricultural. The purpose of the G-A district is designed to foster the preservation and use of agricultural land related uses and to provide for limited residential uses in a rural environment but not the division of land as classified in 18.07(2) and (3) into five or more tracts, parcels or lots within a five-year period. This district provides for limited residential development with modest densities that require relatively large land areas that are compatible with the surrounding rural land use activities. The district is intended to provide towns with multiple options to guide growth and development in concert with the comprehensive planning efforts.

Town of Reid Zoning Map: The parcel proposed is currently zoned General Agricultural

TOWN OF REID - ZONING

MARATHON COUNTY WI



Acreeage: 38.37 Acres (approximate)

Town Comprehensive Plan Future Land Use Map: The parcel is shown to be designated as Quarry and Forest Land, in the Town of Reid's Future Land Use Map (2007)

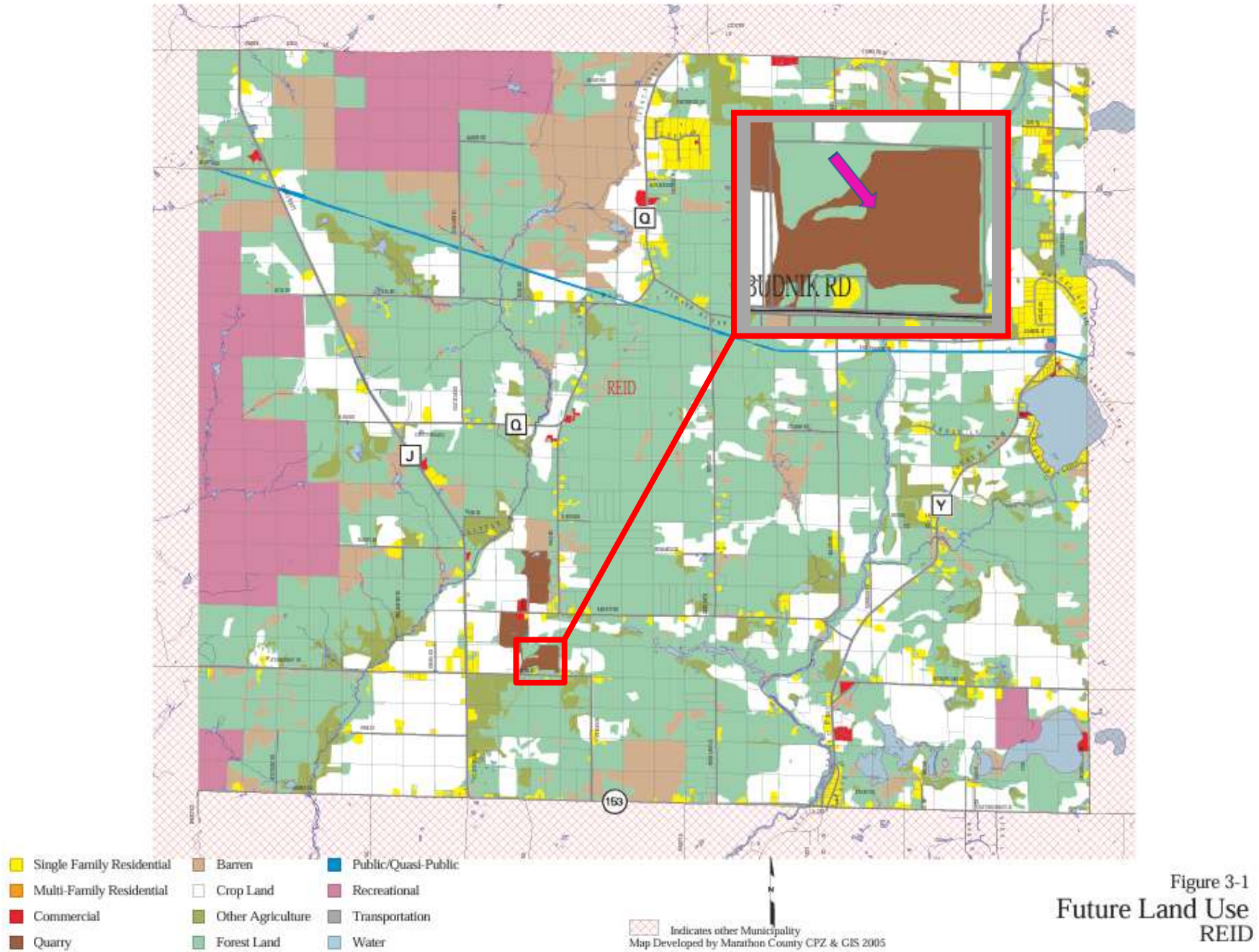
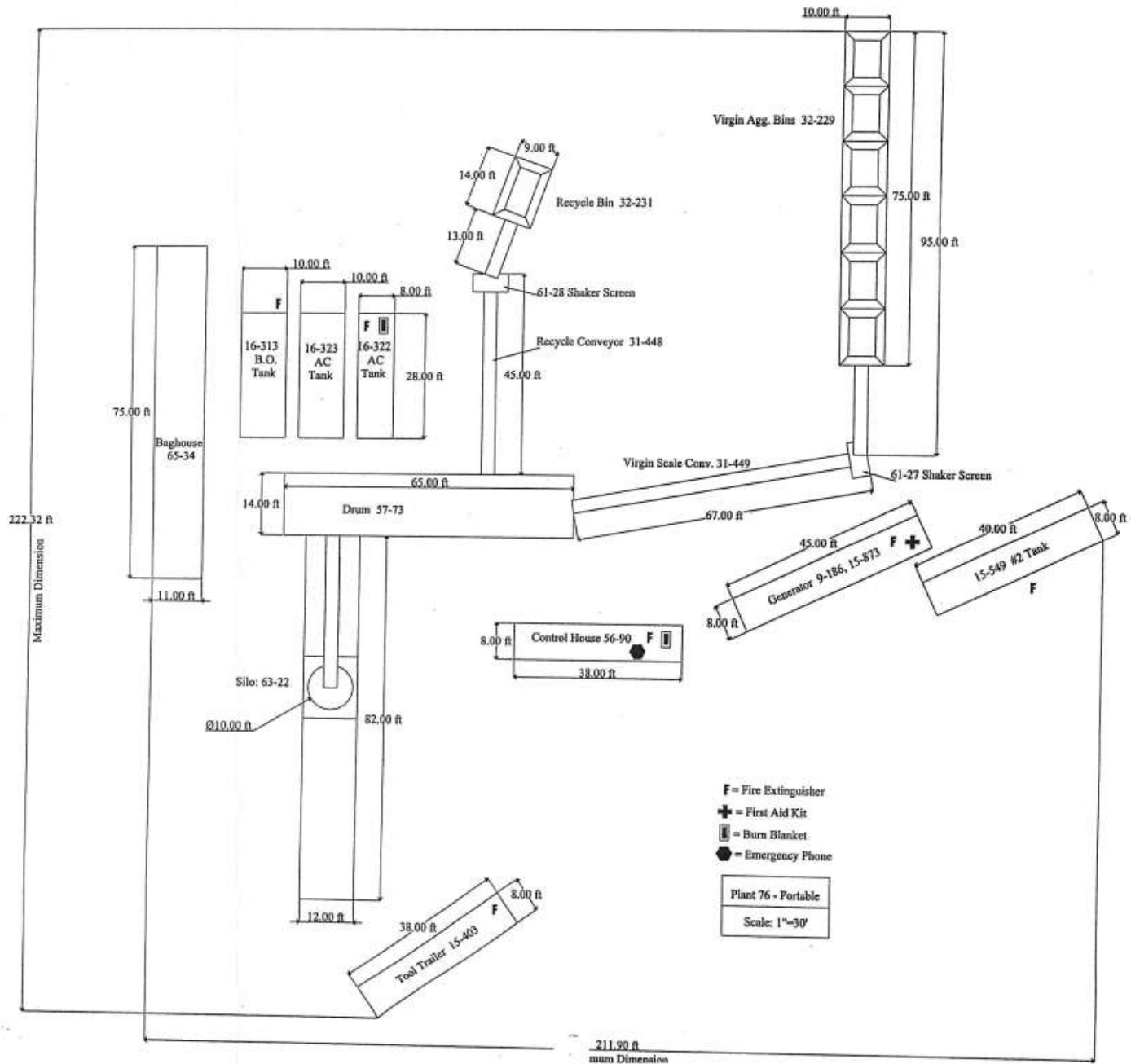
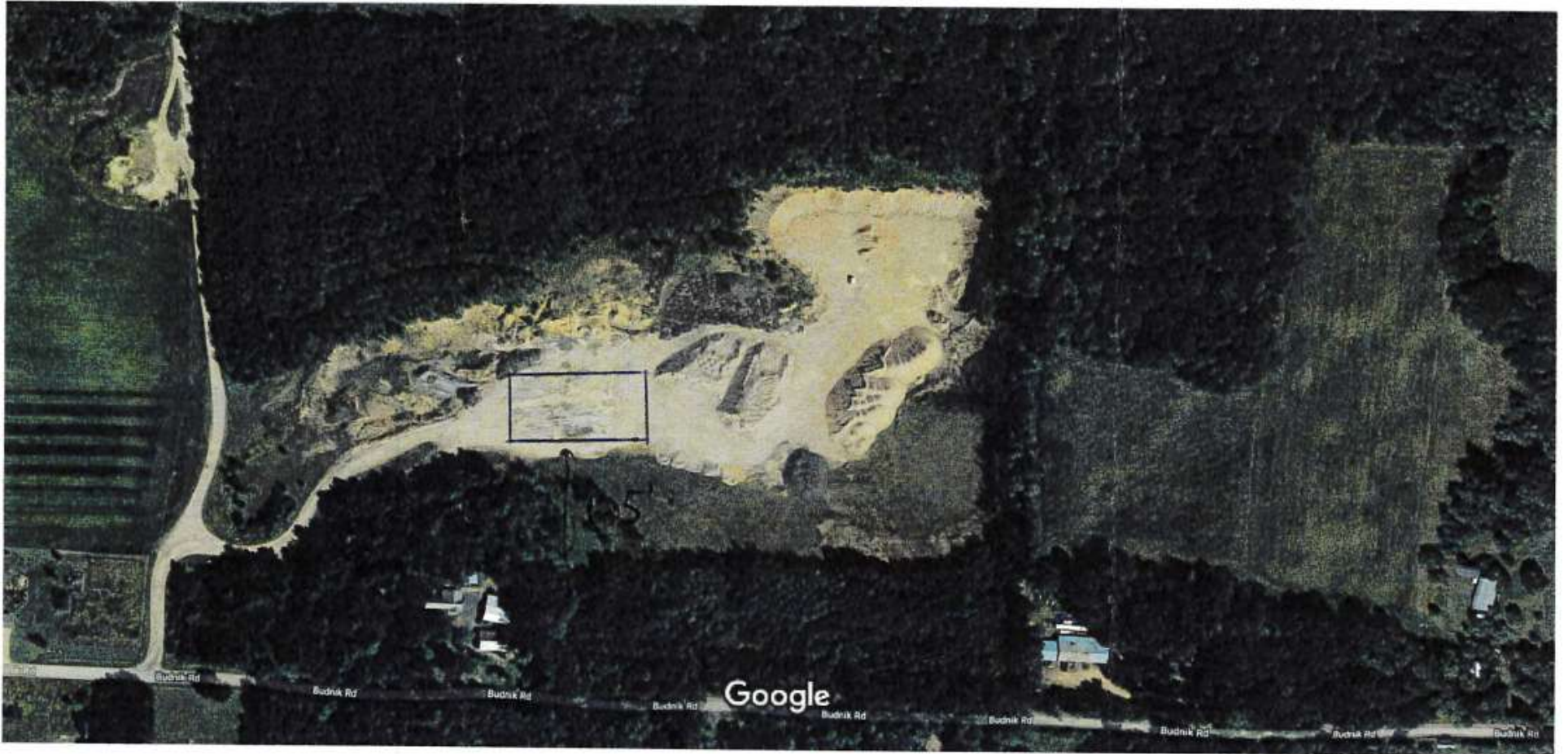


Figure 3-1
Future Land Use
REID

Site Plans





Chapter 17 Sections that apply to this application

Table 3. Uses Permitted by District

USE	P Permitted Use				C Conditional Use			(Blank) Use Not Permitted					
	Residential Districts				Agricultural Districts			Nonresidential Districts					Development Standards
	U-R	L-D-R	R-R	R-E	F-P	G-A	C-V/R-C	N-C	C	B-R	L-I	H-I	
ACCESSORY, TEMPORARY, and OTHER USES													
Accessory Buildings, Structures, and Uses	P	P	P	P	P	P	P	P	P	P	P	P	Chapter 17.401
Accessory Building(s) prior to a Principal Structure (For personal/private use and/or accessory to the principal use of the lot)	C	C	C	P	P	P	C						Section 17.401.01(A)
Permanent use of Storage/Shipping containers as an accessory structure				C	P	P	C	P	P	P	P	P	Section 17.401.01
Concrete and/or Blacktop Mix Plant, processing, stockpiling, and recycling of road building materials					C	C					C	C	Section 17.204.61
Garage, Yard, and Estate Sales	P	P	P	P	P	P	P						Section 17.204.55

Section 17.204.61 CONCRETE AND/OR BLACKTOP MIX PLANT, PROCESSING, STOCKPILING, AND RECYCLING OF ROAD BUILDING MATERIALS

- A. The proposed plant is strongly advised to be located within an existing permitted nonmetallic mine where there are currently no violations.
- B. The proposed plant shall not be located within 100 feet of a residence (unless it is the owner or operator's residence).
- C. Hours of operation shall be limited to Monday through Friday 7 am-7 pm (unless otherwise specified by the BOA).
- D. The proposed plant permit shall be valid for a maximum of 2 years (unless otherwise specified by the BOA).
- E. No portion of the batch plant or its operation shall be located on a public or private street.
- F. The proposed plant shall be operated in a manner that eliminates unnecessary dust, noise, and odor.
- G. The site must be clear of all equipment, material and debris upon completion of the project or upon expiration of the permit, whichever comes first.

Section 17.204.61 Responses

- A. **The proposed site is located in an existing non-metallic mine and there are currently no violations.**
- B. **Per Site Plan and Aerial images:** There are no residence withing 100-feet of the project area.
- C. **Per application Materials:** Requested hours are from 6am–7pm Monday through Friday AND 6am - 3pm Saturday
- D. **Per application Materials:** Applying for CUP from May 1st, 2026 to November 20th, 2027
- E. **Per Site Plan:** No portion of plant will be located on a public or private street.
- F. **Per application materials:** Travel routes will be treated with chloride to suppress dust. A neutralizer is added to the asphalt cement to eliminate odor.
- G. **Per application Materials:** Debris and equipment will be removed from project site by 11/20/2027 (permit expiration).

Section 17.803.01 PURPOSE AND AUTHORITY

- A. **Purpose.** Certain uses are of such a nature, or their effects are as dependent upon specific circumstances as to make impractical the determination in advance of where and when and under what conditions they should be permitted. Provision has been made in this chapter for the determination of such uses as conditional uses. Conditional uses are land uses listed as such in [Table 3](#) Uses Permitted by District. They may be established in such district only upon approval by the Board of Adjustment.

The procedures and standards in this Chapter are intended to provide a consistent and uniform method for review of conditional use permit proposals. These review procedures and standards are intended to accomplish the following purposes:

1. Ensure full compliance with the standards contained in this ordinance and other applicable local ordinances, and state and federal laws.
2. Achieve efficient use of the land.
3. Prevent adverse impact on adjoining or nearby properties.
4. Protect natural resources.
5. Facilitate development in accordance with the County's land use objectives per the Comprehensive Plan.

Section 17.803.02 APPLICATION PROCEDURES

- I. **Board of Adjustment Determination.** The Board of Adjustment shall review the application for conditional use, together with the previous meetings' findings and reports and recommendations from the Zoning Administrator, public safety officials, and other reviewing agencies. The Board of Adjustment shall then make a determination on the conditional use application, as set forth in Section [17.803.03](#) and based on the Substantial Evidence, other requirements and standards of this ordinance. The Board of Adjustment may approve, approve with conditions, or deny a conditional use request as follows:
1. **Approval.** Upon determination by the Board of Adjustment that the final plan for conditional use is in compliance with the standards and requirements of this ordinance and other applicable ordinances and laws, approval shall be granted.
 2. **Approval with Conditions.** The Board of Adjustment may impose reasonable conditions with the approval of a conditional use proposal, to the extent authorized by law. Conditions imposed shall meet all of the following requirements:
 - a. Conditions must be to the extent of practical and measurable
 - b. Conditions shall be designed to protect natural resources, the health, safety, and welfare and the social and economic well-being of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.
 - c. Conditions shall be related to the valid exercise of the police power and purposes which are affected by the proposed use or activity.
 - d. Conditions shall be necessary to meet the intent and purpose of this ordinance, related to the standards established in this ordinance for the land use or activity under consideration, and necessary to insure compliance with those standards. These conditions may include, but are not limited to the following:
 - 1) Permit duration, transfer or renewal
 - 2) Setback and yard dimensions.
 - 3) Specified sewage disposal and water supply facilities.
 - 4) Landscaping and planting screens.
 - 5) Operational controls.
 - 6) Sureties.
 - 7) Deed restrictions.
 - 8) Location of structures, docks, piers or signs.
 - 9) Location and amount of parking facilities.
 - 10) Type of construction.

- 11) The obtaining of other permits required by the state or federal government agencies, and other county requirements based upon other ordinances as conditions that must be met before issuance of such permit.
3. Denial. Upon determination by the Board of Adjustment that a conditional use proposal does not comply with the spirit or intent or standards and regulations set forth in this ordinance, or would constitute a nuisance by reason of noise, dust, smoke, odor, or other similar factors, or otherwise would be injurious to the public health, safety, welfare, and orderly development of the county, the conditional use proposal shall be denied.

Section 17.803.03 BASIS OF DETERMINATION

- A. **Conformance with Requirements.** The applicant shall be required to establish by clear and convincing evidence that the applicable standards of this Chapter, the specific standards pertinent to each conditional use, including site plan review criteria set forth for applicable site development standards for specific uses set forth elsewhere in this Chapter (refer to Chapter [17.204](#), Development Standards for Specific Uses) have been met.
- B. **General Standards.** The Board of Adjustment shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards:
1. Compatibility with Adjacent Uses. The proposed conditional use shall be designed, constructed, operated and maintained to be compatible with uses on surrounding land. The site design shall minimize the impact of site activity on surrounding properties. In determining whether this requirement has been met, consideration shall be given to:
 - a. The location and screening of vehicular circulation and parking areas in relation to surrounding development.
 - b. The location and screening of outdoor storage, outdoor activity or work areas, and mechanical equipment in relation to surrounding development.
 - c. The hours of operation of the proposed use. Approval of a conditional use may be conditioned upon operation within specified hours considered appropriate to ensure minimal impact on surrounding uses.
 - d. The bulk, placement, and materials of construction of the proposed use in relation to surrounding uses.
 2. Comprehensive Plan. The proposed conditional use will be harmonious with and in accordance with the general objectives or with any specific objective of the town and county comprehensive plan.
 3. Compliance with Applicable Regulations. The proposed conditional use shall be in compliance with all applicable federal, state, and local laws and ordinances.
 4. Use of Adjacent Property. The proposed conditional use shall not interfere with the use and enjoyment of adjacent property.
 5. Public Services. The proposed conditional use will be served adequately by essential public facilities and services including but not necessarily limited to utilities, highways, streets, police and fire protection, drainage structures, refuse disposal, and school(s); unless the project proposal contains an acceptable plan for providing necessary services or evidence that such services will be available by the time the conditional use is completed.
 6. Impact of Traffic. The location of the proposed conditional use shall, within the zoning district, minimize the impact of traffic generated by the proposed use. In determining whether this requirement has been met, consideration shall be given to the following:
 - a. Proximity and access to major thoroughfares.
 - b. Estimated traffic generated by the proposed use.
 - c. Proximity and relation to intersections.
 - d. Adequacy of driver sight distances.
 - e. Location of and access to off-street parking.
 - f. Required vehicular turning movements.
 - g. Provision of pedestrian traffic (if applicable).
 7. Enhancement of Surrounding Environment. The proposed conditional use shall provide the maximum feasible enhancement of the surrounding environment and shall not unreasonably interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value. In determining whether this requirement has been met, consideration shall be given to:

- a. The provision of landscaping and other site amenities. Provision of additional landscaping over and above the specific requirements of this Ordinance may be required as a condition of approval of a conditional use.
 - b. The bulk, placement, and materials of construction of proposed structures in relation to surrounding uses.
8. Impact on Public Health, Safety, and Welfare. The proposed conditional use shall not involve any activities, processes, materials, equipment, or conditions of operation, and shall not be located or designed in a manner that is detrimental to public health, safety, and welfare. In determining whether this requirement has been met, consideration shall be given to the production of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, and environmental impact.
 9. Isolation of Existing Uses. The location of the proposed conditional use shall not result in a small residential area being substantially surrounded by non-residential development, and further, the location of the proposed conditional use shall not result in a small non-residential area being substantially surrounded by incompatible uses.
 10. Substantial Evidence. Substantial evidence means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions.

RECOMMENDATIONS FOR THE CUP

If granted, the CUP should consider including the following conditions:

- Shall adhere to Section to Section 17.407.01 “General Performance Standards” of the General Code of Ordinances for Marathon County Chapter 17- Zoning Code. Including but not limited to:
 - **Vibrations.** No use shall cause earth vibrations or concussions detectable without the aid of instruments beyond its lot lines with the exception of vibration produced as a result of construction or demolition operations.
 - 1. Nonmetallic mining operations shall be regulated by the State of Wisconsin, Department of Safety and Professional Services, Chapter SPS 307.
 - **Dust, Fumes, Vapors and Gases.**
 - The emission of dust, dirt, fly ash, fumes, vapors or gases which can cause any damage to human health, animals, vegetation, or property, or which can cause any soiling or staining of persons or property at any point beyond the lot line of the use creating the emission, is prohibited.
 - **Heat.**
 - No use shall produce heat detectable without the aid of instruments beyond its lot lines.
 - **Glare.**
 - No use shall produce a strong, intense light or a reflection thereof beyond its lot lines.
- Hours of Operation
 - 6:00am- 7:00pm (Monday-Friday)
 - 6:00am- 3:00pm (Saturday)
 - No operation on Sundays
- Dust and Odor
 - Travel routes to be treated with chloride to suppress dust
 - A neutralizer to be added to asphalt cement to eliminate odor
- Permit Expiration
 - CUP valid from May 1st, 2026 to November 20th, 2027
 - Debris and equipment removed from project site by November 20th, 2027

TOWN RECOMMENDATION:

The Town of Reid Town Board Recommends Approval to Marathon County's Board of Adjustment
A ..
TOWN RESOLUTION OF RECOMENDATION

TO THE MARATHON COUNTY BOARD OF ADJUSTMENT

I, Kaitlin Kopplin, Clerk of the Town of Reid Marathon County, State of Wisconsin, do hereby certify that the following is a true and correct copy of a resolution adopted by the Town of Reid Town Board at a meeting held on the 10th day of March, 2026.

RESOLUTION

WHEREAS, the Marathon County Board of Adjustment is established for the purpose of hearing certain appeals, applications and granting variances in harmony with the general purpose and intent of land use regulations, and

WHEREAS, such a hearing is scheduled to come before the Board affecting lands within the Town of Reid.

NOW, THEREFORE BE IT RESOLVED that the Town of Reid Town Board considered on the 10th day of March, 2026, the application of: American Asphalt of WI on behalf of Mathy Construction Company (Milestone Materials) for a conditional use permit per section 17.204.61 of the General Code of Ordinances for Marathon County Chapter 17 Zoning code for the purposes of operating a concrete and/or blacktop mix plant, processing, stockpiling, and recycling of road building materials in the G-A (General Agriculture) zoning district. The property is located in the Southeast ¼ of the Southwest ¼ and the Southwest ¼ of the Southeast ¼ of Section 29, Township 27 North, Range 9 East, Town of Reid, further described as PIN# 064.2709.294.0990. Property Address: 211155 Budnik Rd, Hatley, WI 54440.

, and hereby recommends:

Marathon County Board of Adjustment **APPROVE** application

Marathon County Board of Adjustment **DENY** application

Comments, conditions and reasons for recommended action:

Clerk Kaitlin Kopplin
Town Board Bob Kurbilowski
Scott
Benjamin Miller

NOTE: If you recommend disapproval of this request, please make every effort to send a representative to

THE STAFF RESERVE THE RIGHT TO AMEND THIS REPORT BASED ON NEW EVIDENCE PRESENTED PRIOR TO AND/OR DURING THE PUBLIC HEARING.

DECISIONS OF THE BOARD ARE SUBJECT TO APPEAL AS PROVIDED IN SS.59.694(10) WIS. STATS.

RESPECTFULLY SUBMITTED:

Scott

SIGNATURE

04/03/2026

DATE



February 20, 2026

Shad Harvey
Marathon County
Zoning & Planning
210 River Dr
Wausau, WI 54403-5449

Re: Conditional Use Permit Application, Kafka Quarry

To Whom This May Concern:

Please find herein an application by American Asphalt of Wisconsin for a Conditional Use Permit for a temporary asphalt plant at the following locations:

- Kafka Quarry, Town of Eau Pleine

We plan to do asphalt mix production at this location for various projects, but mainly providing asphalt for Marathon County Highway Department. We would like a permit for operation starting June 1, 2026 – Nov 20, 2027. American is asking for a 2 year CUP.

A portable drum mix asphalt plant will be used to provide hot mix asphalt for the projects. The normal plant operating hours being requested are 6:00 AM to 7:00 PM, Monday through Friday and Saturday from 6:00AM to 3PM.

I am attaching a map and a plant layout diagram for your review. The plant layout would encompass approx. 4 acres, including aggregate stockpiles

American Asphalt provides portable sanitary facilities and dumpsters for solid waste disposal at each location. Both are serviced as needed for the duration of the project.

All company asphalt plants are tested for air quality compliance biannually and meet all requirements of the Wisconsin Department of Natural Resources. In a program sponsored by the Wisconsin Department of Natural Resources and the Wisconsin Asphalt Paving Association, American Asphalt is a recipient of the Hot Mix Asphalt Environmental leadership Award for demonstration environmental excellence in their asphalt plant operations.

If you have any questions, please contact me.

Sincerely,
American Asphalt of Wisconsin

Matt Eslinger
Division Manager

APPLICATION FOR CONDITIONAL USE PERMIT

MARATHON COUNTY BOARD OF ADJUSTMENT

The applicant hereby requests the Board of Adjustment to hear and decide upon this application as prescribed by Section 17.803 of the Marathon County Zoning Ordinance. Use a separate sheet if necessary.

Name of Applicant: American Asphalt of WI
 Mailing Address: P.O. Box 98 Mosinee WI 54455
 Telephone: 715-693-5200 Fax: 715-693-5200
 Cellphone: _____ Email: matt.eslinger@americanasphaltofwi.com
 Owner Name: (if different) Milestone Materials
 Mailing Address: P.O. Box 98 Mosinee WI 54455
 Telephone: 715-693-5200 Fax: _____

PARCEL INFORMATION

Parcel ID # (PIN): 020-2703-032-0999
(If more than one parcel is included in this application, list all parcel numbers & legal descriptions on a separate sheet.)

Legal Description: Government Lot: _____ or NE 1/4 NW 1/4 Section: 3, T 27 N, R 3 E,
Town of Eau Claire

Lot _____ Block _____ Subdivision _____

Property Address: EP 765 City Rd P Stratford WI 54484

Parcel size: 4.13 Acres or _____ ft² Zoning District: F-P Farmland Preservation

Present use of property (List all current uses, i.e. home, store, farm field, wooded, etc.):

Aggregate Quarry

Existing improvements (Structures, well, septic, etc.):

None

PROPOSAL

Describe specifically the nature of this request (be sure to list all proposed uses of the parcel). What do you plan to do?

Approx. 4 acres of the quarry will be used as a temporary asphalt plant site

If this application is for a use that will be restricted to part of the parcel, specify the exact dimensions of the affected area.

Please see attached plant diagram
Approx 250' x 200'

Provide the following information if this box is checked

Proposal has additional development standards in Section 17.204.61. Explain how your proposal meets or exceeds these requirements.

The temporary asphalt plant will be located in the area shown on attached map, which is in a permitted non-metallic mine, & at least 100' from any residence. American Asphalt is asking for a CUP from 8-1-26 - 11-20-27. All equipment & debris will be out of the plant site by 11-20-27. Hours will be determined by the BOA. American would like to request the hours: Monday - Friday 6:00am - 7:00pm & Saturday 6:00am - 3pm. American will spray Chloride on the travel route in the quarry to suppress dust. A neutralizer is added to the asphalt cement to eliminate odor

Use separate/additional sheet(s) if necessary

INSTRUCTIONS TO APPLICANT

1. Be sure to complete **all items** on the application. This includes a **brief, but complete explanation** of the current use and proposed new use.
2. Prepare a **map at a scale which is reproducible** (11" x 17" or smaller). For maps larger than 11" x 17", be prepared to provide as many copies as needed for transmittal. In no instance may the scale of the map be less than 1 inch equals 200 feet. There are instances where a cross-section of the property or contours will be helpful, and in some cases one or both may be required. Narrative or photos may be included as supporting documentation.

At a minimum the map must include:

- The location, dimensions, and parcel identification number of the lot or lots including a legal description.
- Location of any and all nearby public and private streets.
- Dimensions of the lot and the location of all existing and proposed buildings or structures, and location of existing or proposed private onsite wastewater treatment (septic) system.
- Required front, rear, and side yard areas, open space, and parking.
- On residential parcels, the number of dwelling units contained within each building and proposed number of bedrooms.
- Location and dimensions of all buildings or structures to be erected, structurally altered, or moved.
- Wetlands and floodplains
- Screening/Buffers
- Lighting
- Parking

3. **Include fee** when you submit the application. Please make checks payable to Marathon County.

We cannot consider an application complete until the following are submitted to this office:

<i>Check if submitted</i>	<i>Initial of staff</i>	
<input checked="" type="checkbox"/>	AW	Completed application including signatures.
<input checked="" type="checkbox"/>	AW	Map with all required information.
<input checked="" type="checkbox"/>	AW	Additional documents, as needed (lot combination forms, hunting/fishing shelter application, etc.)
<input checked="" type="checkbox"/>	AW	Zoning Permit application
<input checked="" type="checkbox"/>	ND	Fee

Please contact the Marathon County Conservation, Planning and Zoning Department with any questions: 715-261-6000.

IMPORTANT: The applicant or authorized representative **must be present at the hearing** or Board **may deny** the application without prejudice.

<p style="text-align: center;"><i>Mark Estberg</i></p> <p>Owner Signature (required)</p> <hr/> <p style="text-align: center;"><i>Mark Estberg</i></p> <p>Agent / Person responsible for work Signature (required)</p>	<p style="text-align: center;">2-20-26</p> <p>Date</p> <hr/> <p style="text-align: center;">2-20-26</p> <p>Date</p>
---	---

Conditional Use Permits expire six (6) months from the latest date of signature on the approval letter signed by Chairman and the Secretary of the Board of Adjustment if the proposed construction or preparation of land for use has not commenced. The Zoning Administrator may grant an extension for up to six (6) months upon show of valid cause.

<p><u>Return to:</u></p> <p>Board of Adjustment Marathon County CPZ Department 210 River Drive Wausau, WI 54403-5449</p>	<p>Telephone: 715-261-6000 Toll free within Marathon County: 1-800-236-0153 Facsimile: 715-261-6016</p>
--	---

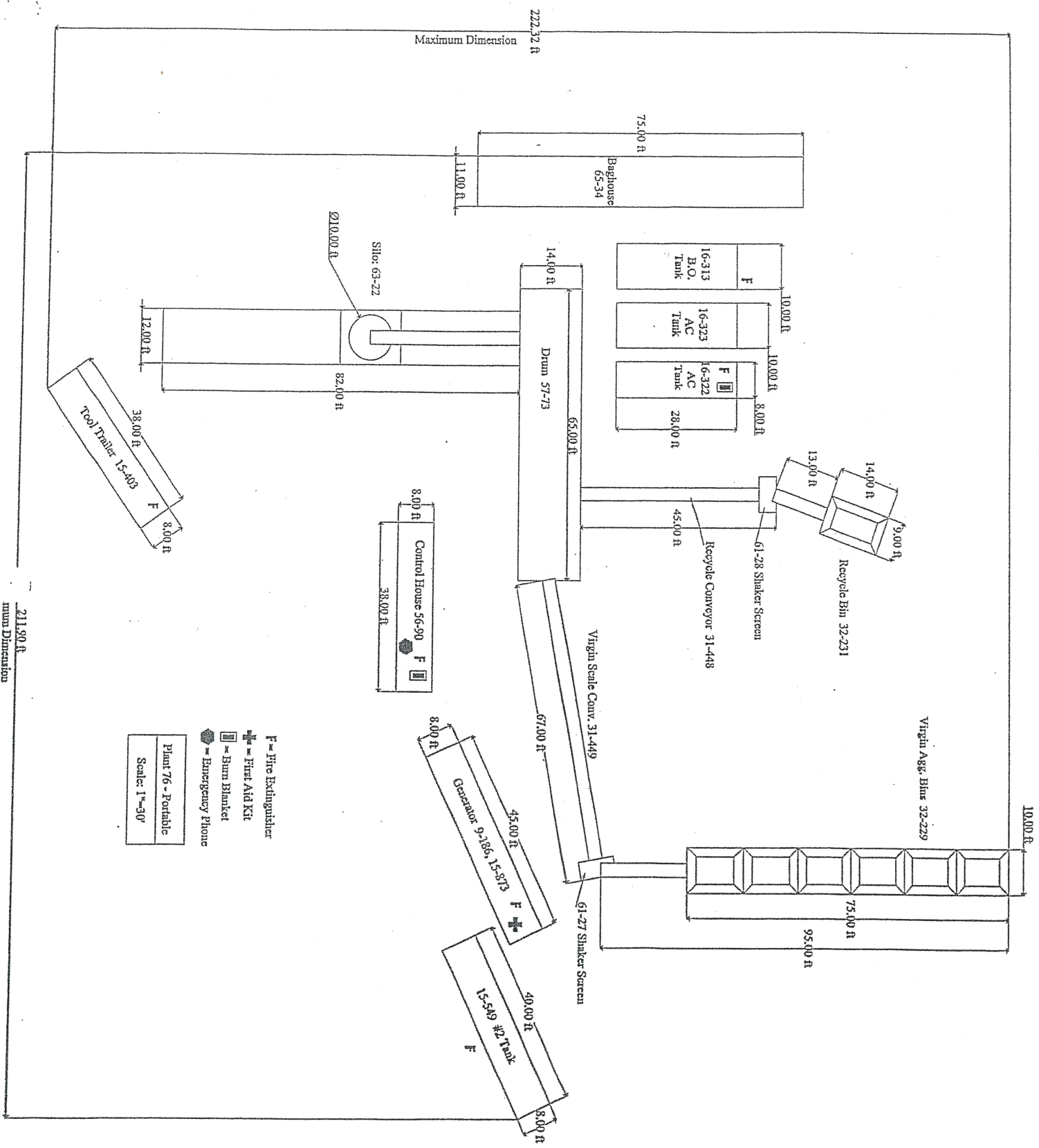
For office use
Amount Received: \$ 600

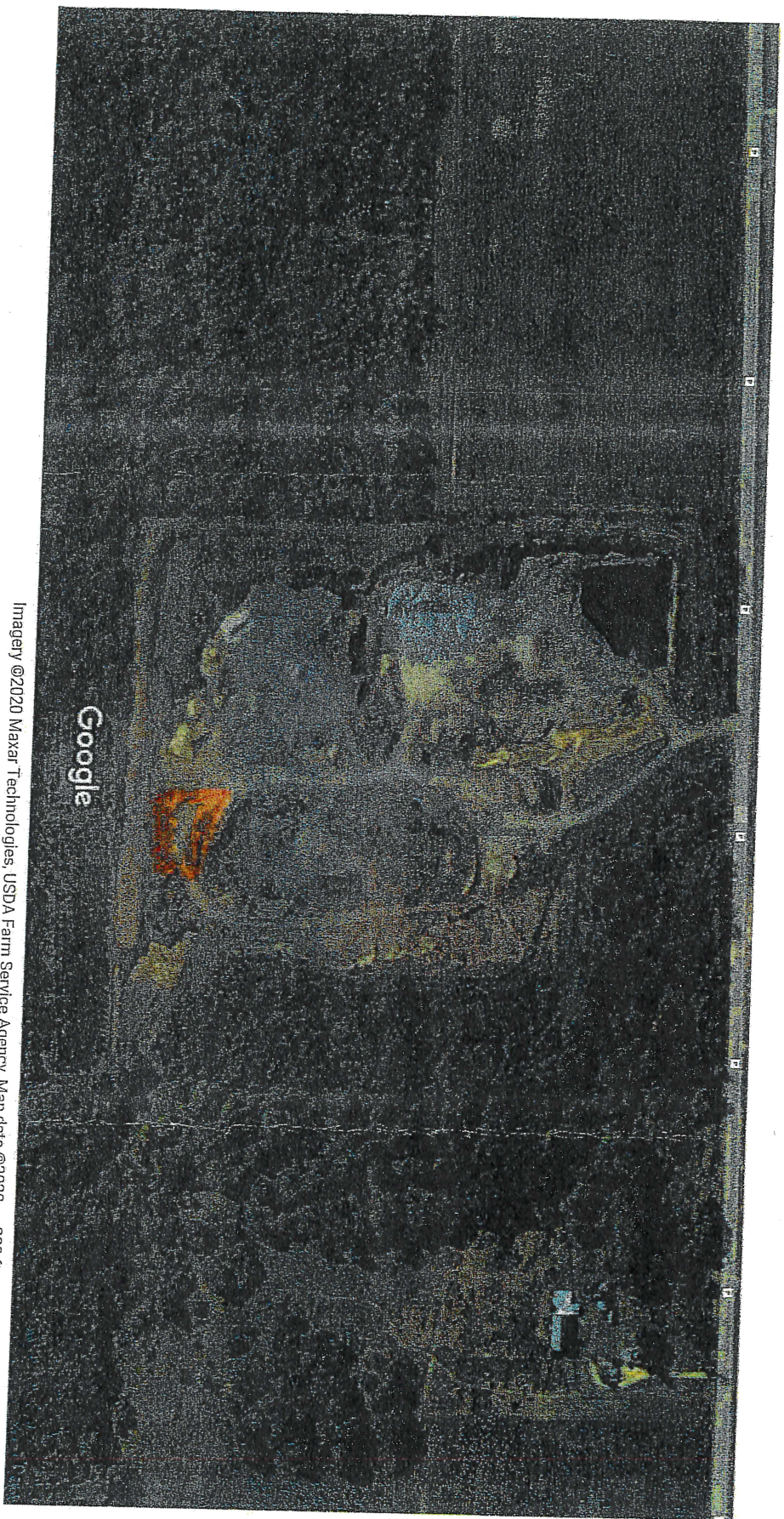
For office use
Date Stamp:

RECEIVED

FEB 24 2026

MARATHON CO. CONSERVATION,
PLANNING & ZONING DEPT.





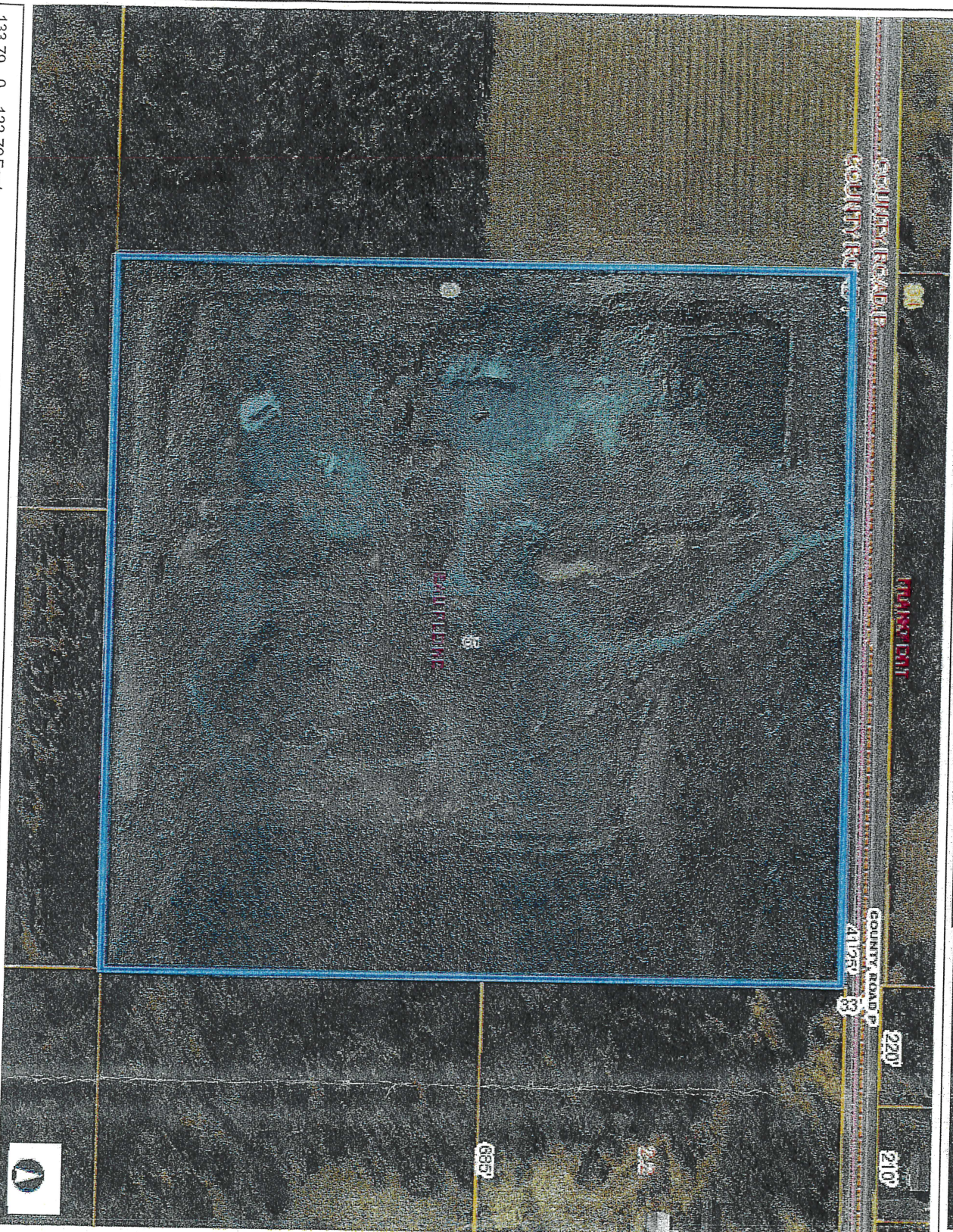
Imagery ©2020 Maxar Technologies, USDA Farm Service Agency, Map data ©2020 200 ft.

<https://www.google.com/maps/@44.8566233,-90.1324582,491m/data=!3m1!1e3?hl=en>

12/16/2020



Land Information Mapping System



133.79 0 133.79 Feet

NAD_1983_HARN_WISCRS_Marathon_County_Feet

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



TAYLOR	LINCOLN
HALEY	BERNARD
HEARN	HEWITT
HOLDEN	MANITEXAS
HULL	STELINEASTON
BRIGHTON	REID
DAYTON	REID
SPENCER	BERDEN
WOOD	PORTAGE

Legend

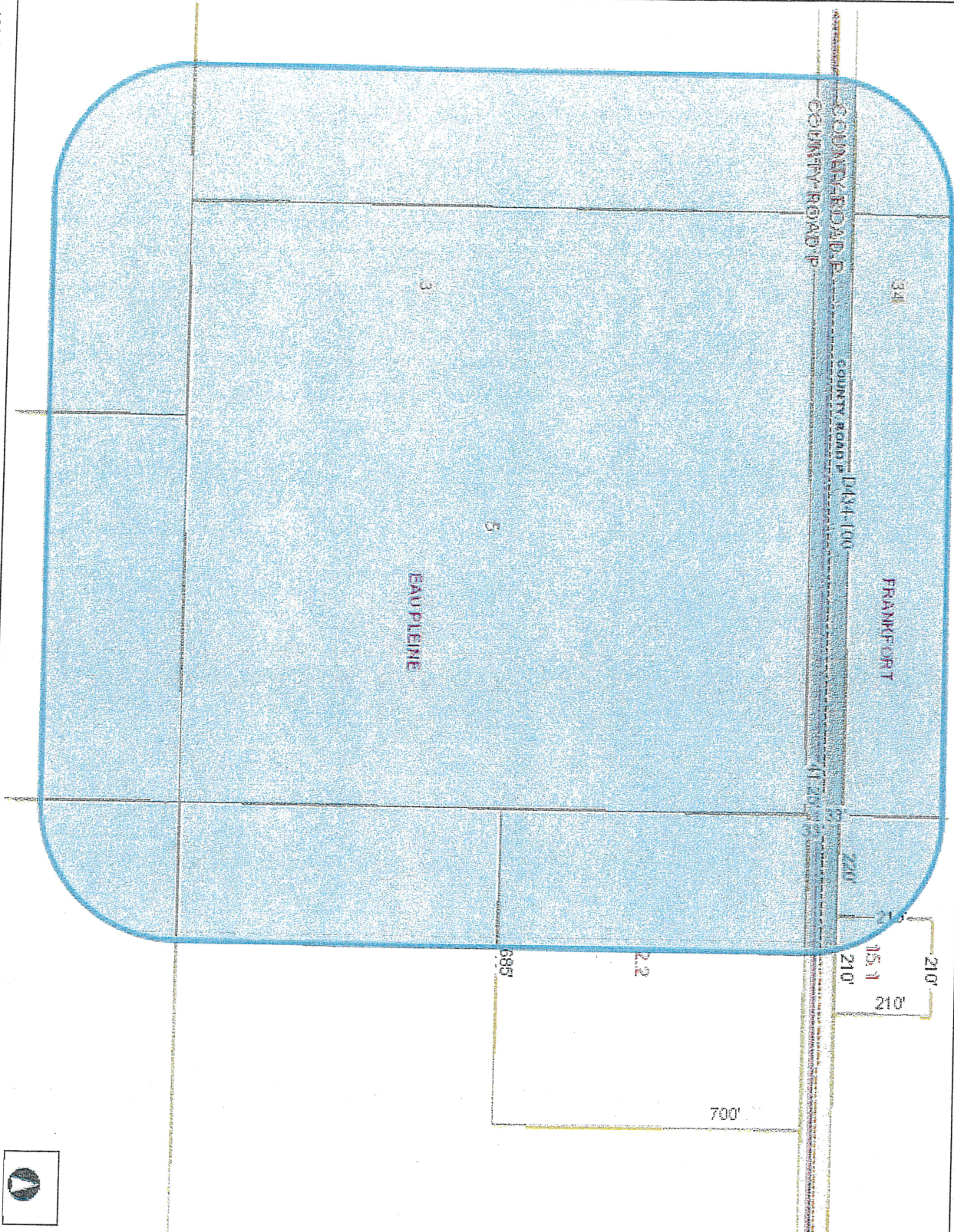
- Parcel Annotations
- Parcels
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Municipalities
- 2015 Orthos
 - Red: Band 1
 - Green: Band 2
 - Blue: Band 3

Notes

Notes



Land Information Mapping System



160.61 0 160.61 Feet

NAD_1983_HARN_WISCRS_Marathon_County_Feet

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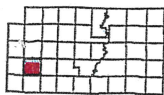
THIS MAP IS NOT TO BE USED FOR NAVIGATION

TAYLOR	LINCOLN
HALSLEY	HEWITT
BERN	LAMINE
HOLTON	STEELE
HILL	WENCK
BRIGHT	REID
SPENCER	DAVIS
WOOD	BEVERLY
PORTAGE	FRITZEN

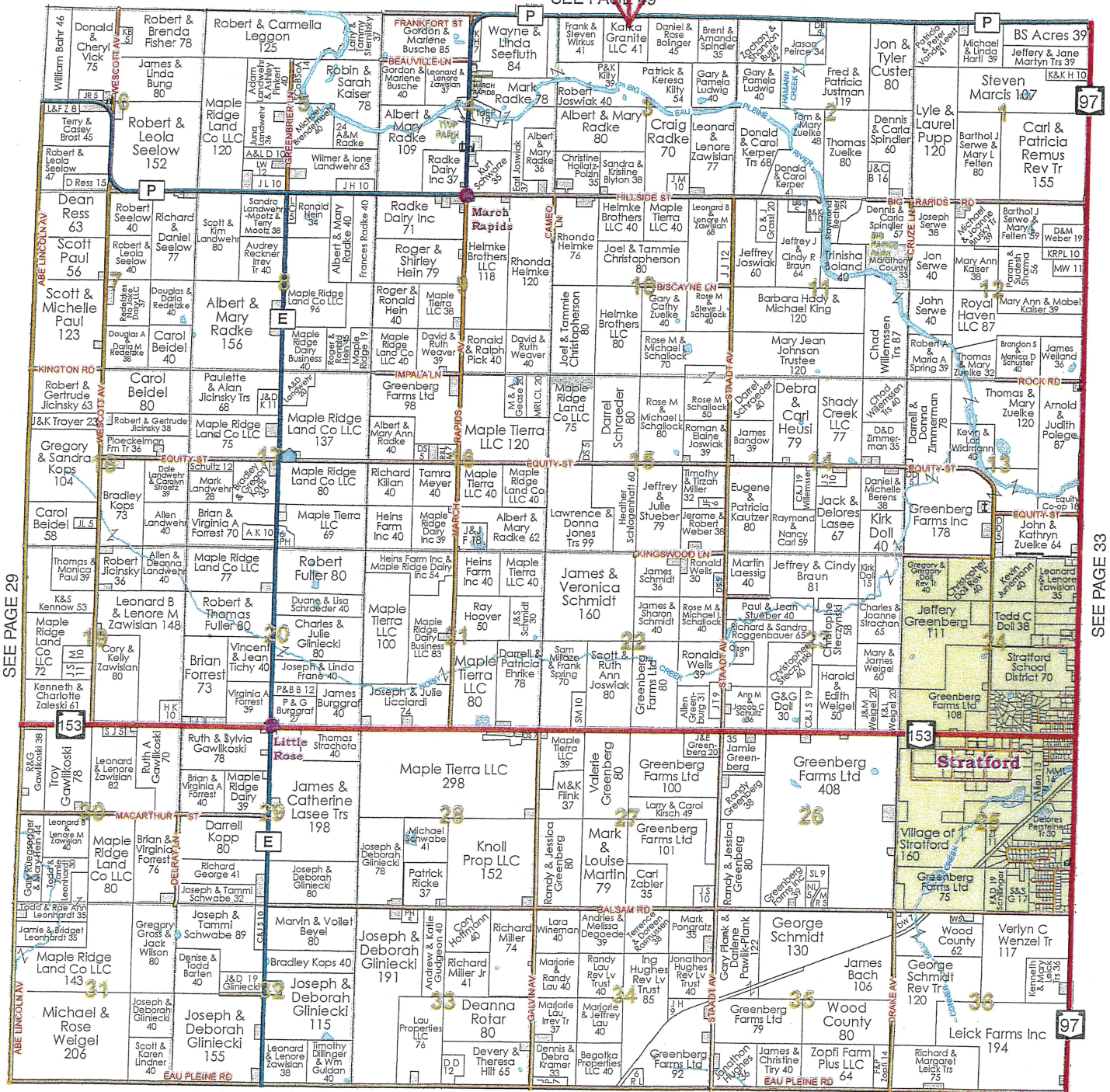
Legend

- Parcel Annotations
- Parcels
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Municipalities

Notes



SEE PAGE 29



SEE PAGE 13

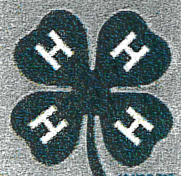
Need Additional Plat Books?

Extension Marathon County Office
212 River Drive, Suite 3 • Wausau, WI 54403
(715) 261-1230

Call for additional purchase locations.



Extension
UNIVERSITY OF WISCONSIN-MADISON
MARATHON COUNTY

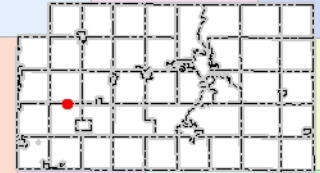




Land Information Mapping System

TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

Road Centerlines

- US
- State
- County
- Local
- Private
- Forest
- Park

Road Names

- Parcels
 - Parcel Lot Lines
 - Land Hooks
 - Section Lines/Numbers
 - Right Of Ways
 - Named Places
 - Municipalities
 - Streams-Rivers
- 2020 Orthos Countywide
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3

145.83 0 145.83 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

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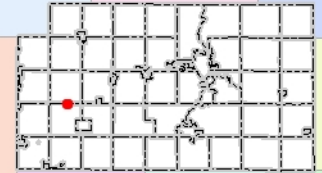
Notes



Land Information Mapping System

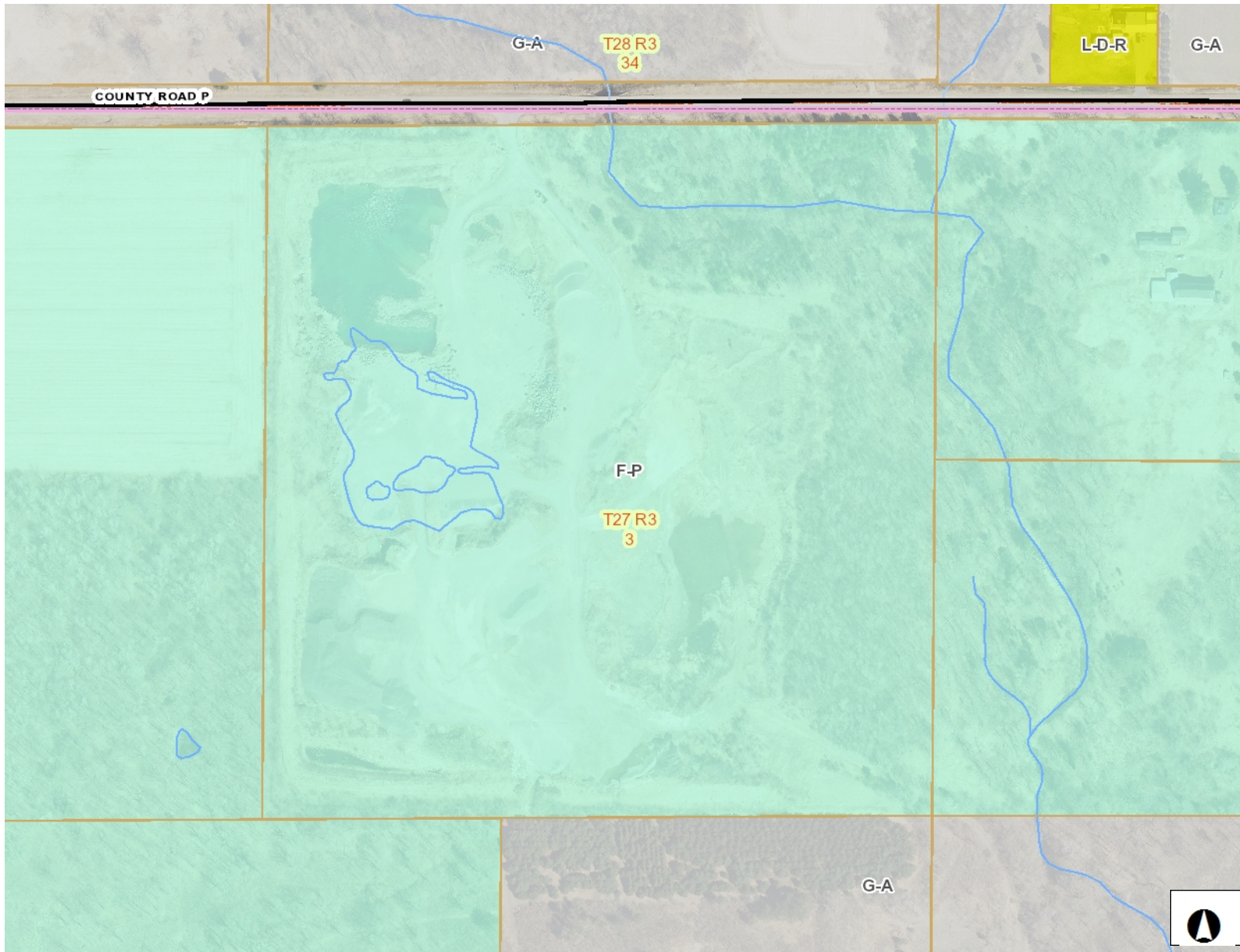
TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

- Road Centerlines
 - US
 - State
 - County
 - Local
 - Private
 - Forest
 - Park
- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- Streams-Rivers
- County Zoning ZCR
 - U-R (Urban Residential)
 - L-D-R (Low Density Residential)
 - R-R (Rural Residential)
 - R-E (Rural Estate)
 - M-H (Manufactured/Mobile Home Park)
 - C (Commercial Regional)
 - N-C (Neighborhood Commercial)
 - B-R (Business Regional)
 - L-I (Light Industrial)
 - H-I (Heavy Industrial)
 - G-A (General Agriculture)
 - F-P (Farmland Preservation)
 - C-V/R-C (Conservancy & Recreation)
- 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

145.83 0 145.83 Feet

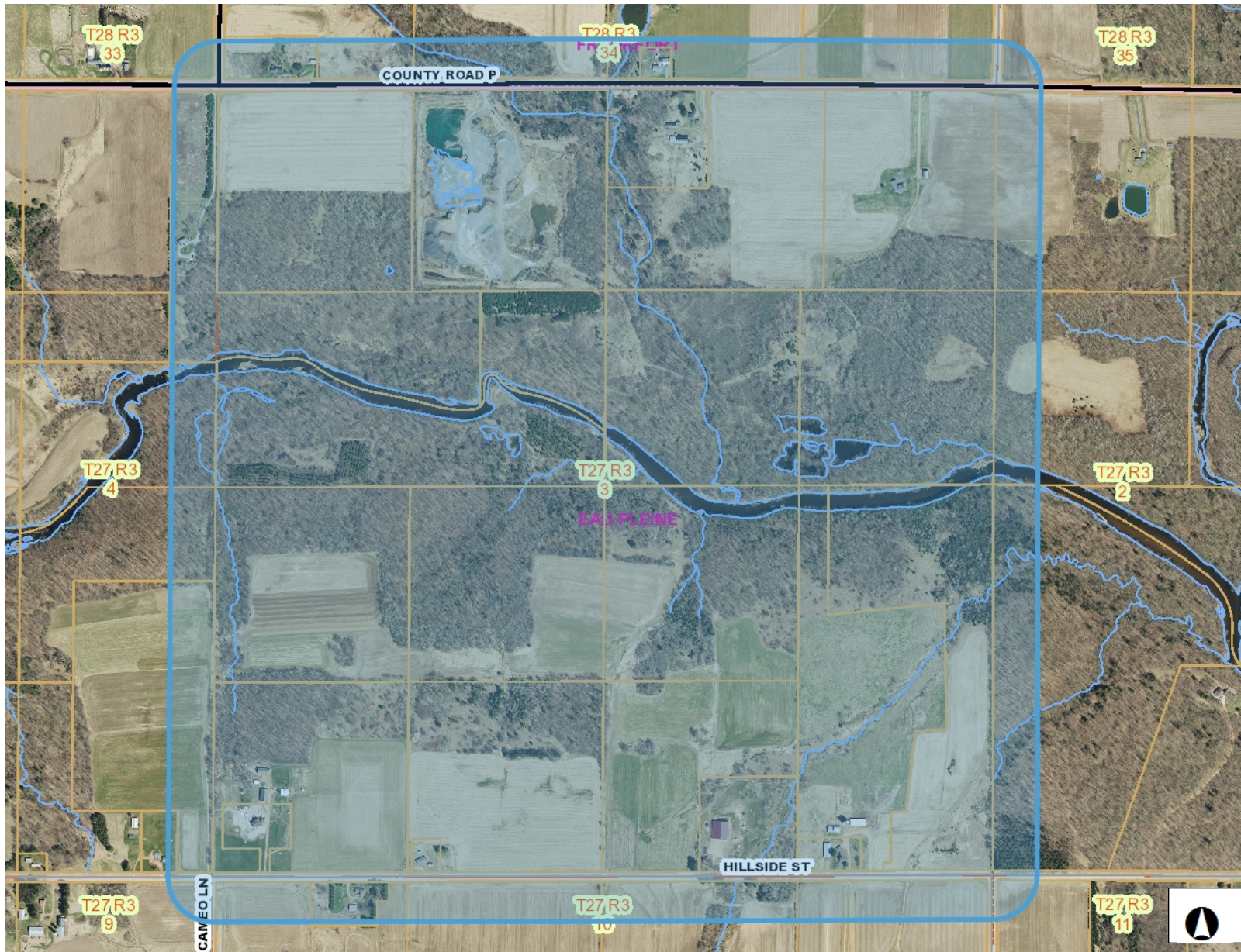
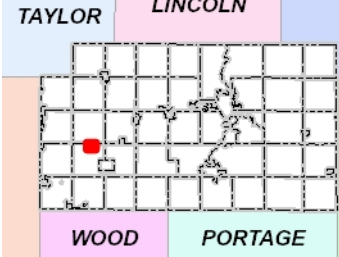


NAD_1983_HARN_WISCRS_Marathon_County_Feet

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



- ### Legend
- Road Centerlines
 - US
 - State
 - County
 - Local
 - Private
 - Forest
 - Park
 - Road Names
 - Parcels
 - Parcel Lot Lines
 - Land Hooks
 - Section Lines/Numbers
 - Right Of Ways
 - Named Places
 - Municipalities
 - Streams-Rivers
 - 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

501.77 0 501.77 Feet

NAD_1983_HARN_WISCRS_Marathon_County_Feet

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

STATE OF WISCONSIN)
MARATHON COUNTY)
TOWN OF EAU PLEINE)

TOWN RESOLUTION OF RECOMENDATION

TO THE MARATHON COUNTY BOARD OF ADJUSTMENT

I, Heather Kops, Clerk of the Town of Eau Pleine Marathon County, State of Wisconsin, do hereby certify that the following is a true and correct copy of a resolution adopted by the Town of Eau Pleine Town Board at a meeting held on the 10 day of March, 2026.

RESOLUTION

WHEREAS, the Marathon County Board of Adjustment is established for the purpose of hearing certain appeals, applications and granting variances in harmony with the general purpose and intent of land use regulations, and

WHEREAS, such a hearing is scheduled to come before the Board affecting lands within the Town of Eau Pleine.

NOW, THEREFORE BE IT RESOLVED that the Town of Eau Pleine Town Board considered on the 10 day of March, 2026, the application of: American Asphalt of WI on behalf of Mathy Construction Company (Milestone Materials) for a conditional use permit per section 17.204.61 of the General Code of Ordinances for Marathon County Chapter 17 Zoning code for the purposes of operating a concrete and/or blacktop mix plant, processing, stockpiling, and recycling of road building materials in the F-P (Farmland Preservation) zoning district. The property is located in the Northeast ¼ of the Northwest Fractional ¼ of Section 3, Township 27 North, Range 3 East, Town of Eau Pleine, further described as PIN# 020.2703.032.0999. Property Address: 114445 County Road P, Stratford, WI 54484.

, and hereby recommends:

- Marathon County Board of Adjustment **APPROVE** application
- Marathon County Board of Adjustment **DENY** application

Comments, conditions and reasons for recommended action:

Clerk Heather Kops
Town Board Mark Gader
Kit Schwager
B. Pab

NOTE: If you recommend disapproval of this request, please make every effort to send a representative to the Board of Adjustment Public Hearing. Town input at the hearing is always appreciated.

Please return this form before _____ to:

Board of Adjustment
Marathon County Conservation, Planning and Zoning Department
1100 Lake View Drive, Suite 400
Wausau, WI 54403



**American Asphalt of WI
on behalf of
Mathy Construction Company (Milestone Materials)
Conditional Use Permit Application
Staff Report, April 23rd, 2026
Marathon County Board of Adjustment**

PETITIONER:

American Asphalt of WI – PO Box 98, Mosinee, WI 54455

PROPERTY OWNERS:

Milestone Materials – PO Box 98, Mosinee, WI 54455

REQUEST:

The application of American Asphalt of WI on behalf of Mathy Construction Company (Milestone Materials) for a conditional use permit per section 17.204.61 of the General Code of Ordinances for Marathon County Chapter 17 Zoning code for the purposes of operating a concrete and/or blacktop mix plant, processing, stockpiling, and recycling of road building materials in the F-P (Farmland Preservation) zoning district. The property is located in the Northeast ¼ of the Northwest Fractional ¼ of Section 3, Township 27 North, Range 3 East, Town of Eau Pleine, further described as PIN# 020.2703.032.0999. Property Address: 114445 County Road P, Stratford, WI 54484

PUBLIC HEARINGS/MEETINGS:

- Town of Eau Pleine Town Board Meeting: March 10th, 2026
- Marathon County Board of Adjustment Meeting: April 23rd, 2026; 9AM

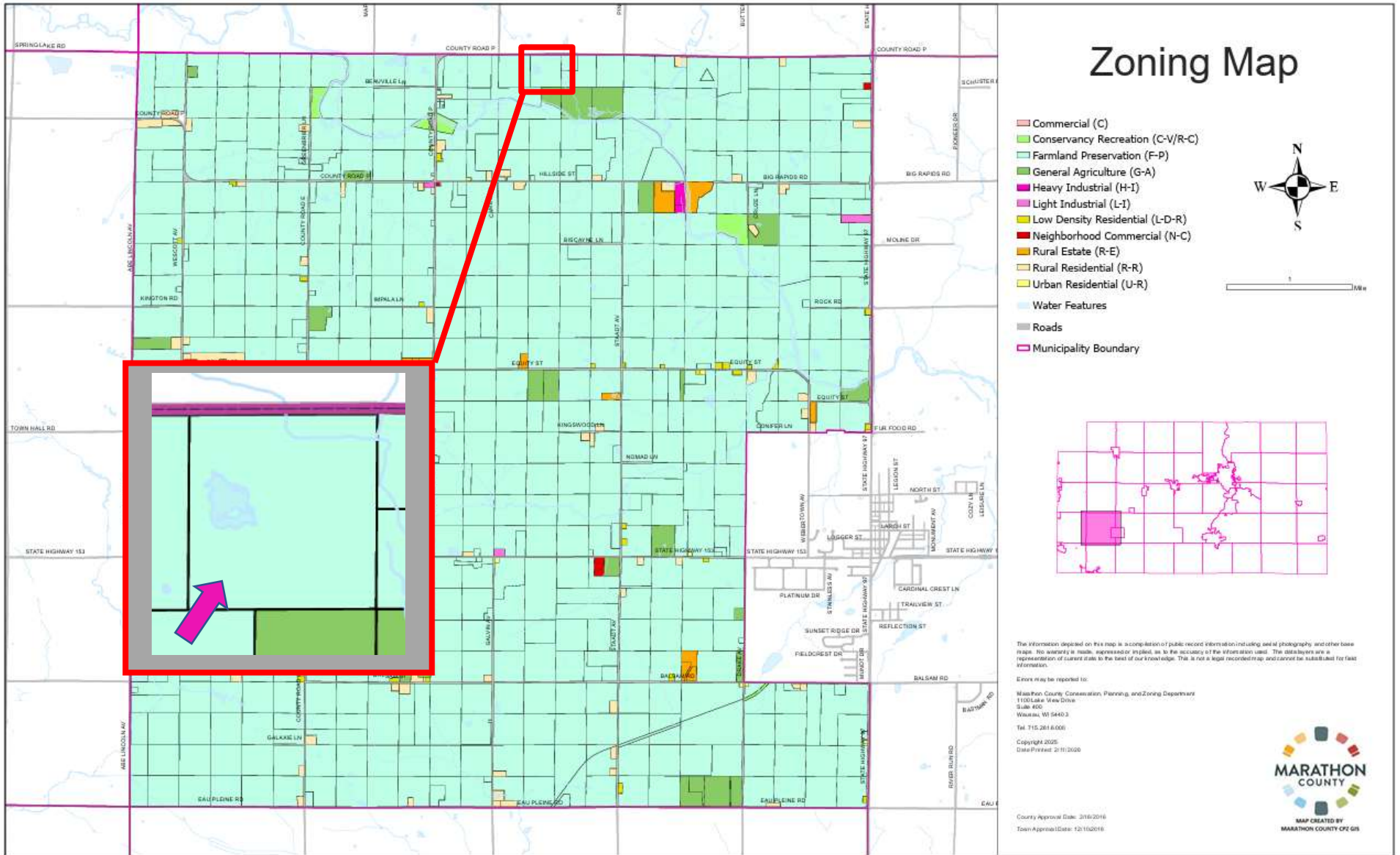
Legal Notification:

A legal advertisement was published in the *Wausau Daily Herald*. Notice of the CUP was also sent by regular mail to adjacent property owners within 300 feet of the subject property.

EXISTING ZONING DISTRICT:

F-P Farmland Preservation Zoning. The intent of this district is to maintain highly productive agricultural lands in food and fiber production by effectively limiting encroachment of non-agricultural development and minimizing land use conflicts among incompatible uses. This district is not intended to accommodate non-agricultural growth.

Town of Eau Pleine Zoning Map: The parcel proposed is currently zoned Farm Preservation

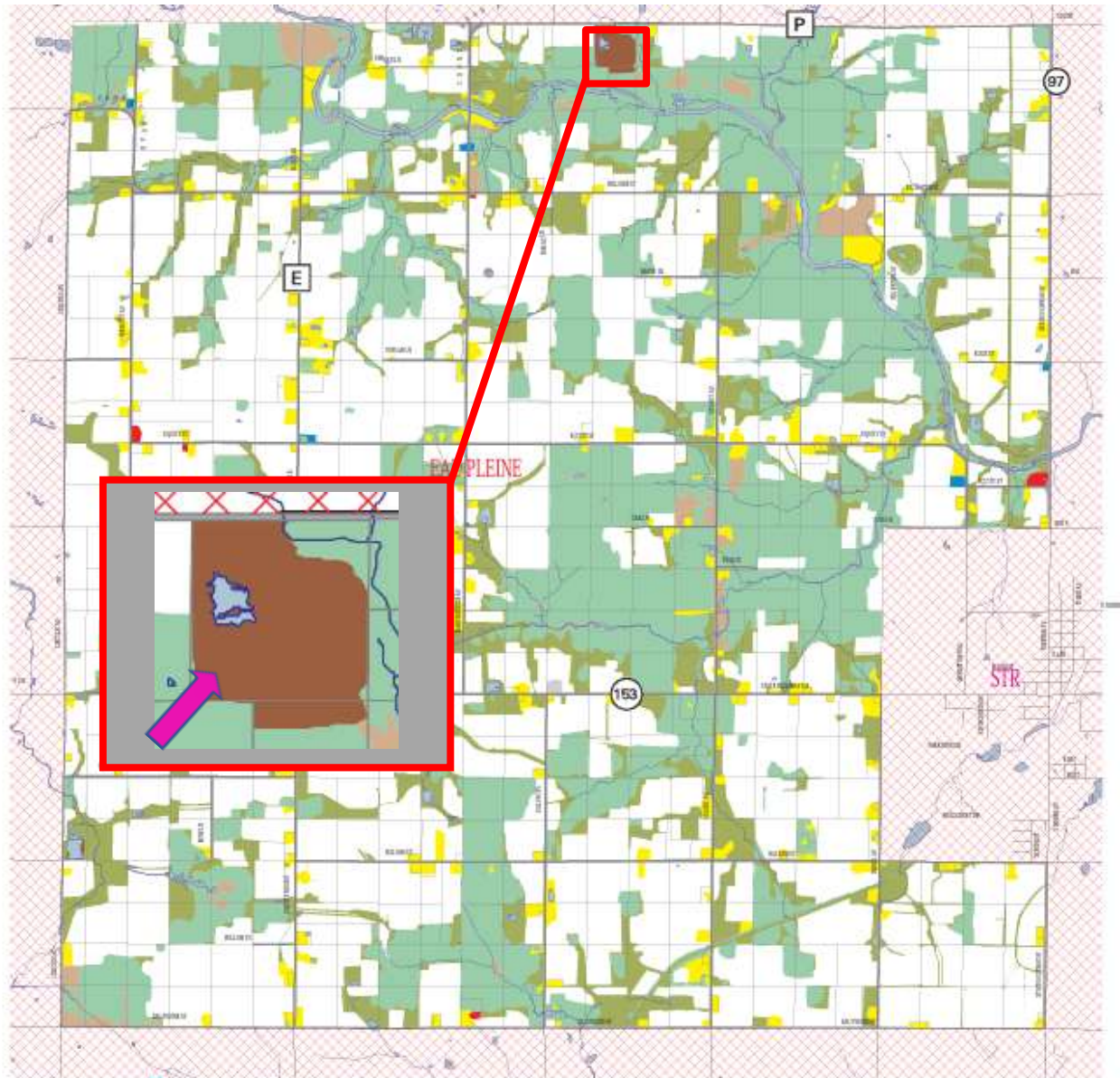


Town of Eau Pleine

Marathon County, Wisconsin

Acreeage: 41.13 Acres (approximate)

Town Comprehensive Plan Future Land Use Map: The parcel is shown to be designated as Quarry and Forest Land, in the Town of Eau Pleine's Future Land Use Map (2006)



- | | | |
|---------------------------|-------------------|---------------------|
| Single Family Residential | Barren | Public/Quasi-Public |
| Commercial | Crop Land | Recreational |
| Industrial | Other Agriculture | Transportation |
| Quarry | Forest Land | Water |

Indicates other Municipality
Map Developed by Marathon County CPZ & GIS 2005

Figure 3-1
Future Land Use
EAUPLEINE

SPECIFIC PARCEL LIMITATIONS OR NATURAL FEATURES:

- The proposed plant on this parcel is:
 - **Not** located within mapped floodplain
 - **Not** located within DNR mapped wetlands, or water features.
 - **IS** located within the shoreland overlay district.

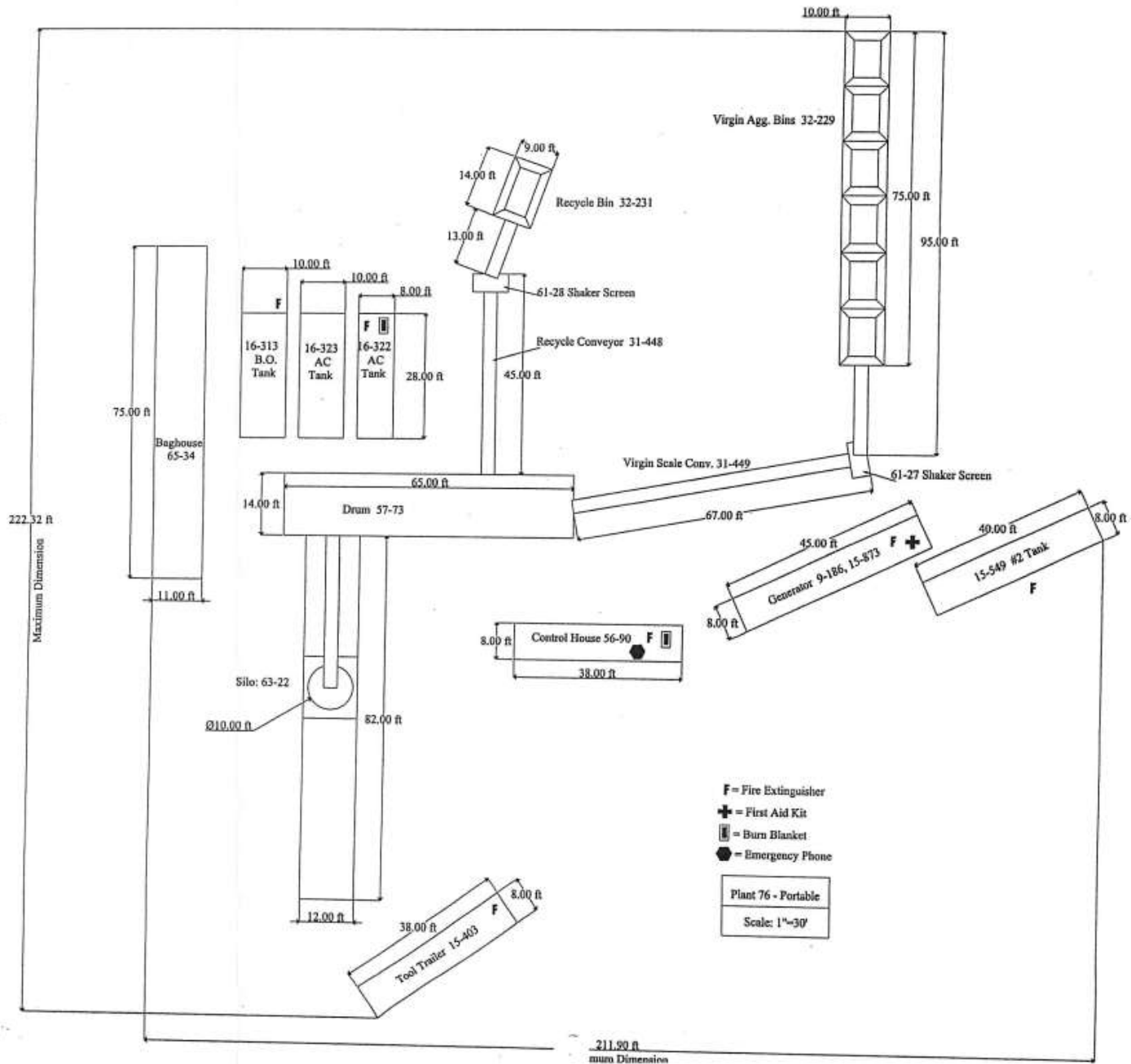
VIOLATIONS

There are no known violations on the property.

Aerial Photo



Site Plans



Approximate Location of Plant



Chapter 17 Sections that apply to this application

Table 3. Uses Permitted by District

USE	P Permitted Use				C Conditional Use				(Blank) Use Not Permitted					
	Residential Districts				Agricultural Districts				Nonresidential Districts					Development Standards
	U-R	L-D-R	R-R	R-E	F-P	G-A	C-V/R-C	N-C	C	B-R	L-I	H-I		
ACCESSORY, TEMPORARY, and OTHER USES														
Accessory Buildings, Structures, and Uses	P	P	P	P	P	P	P	P	P	P	P	P	Chapter 17.401	
Accessory Building(s) prior to a Principal Structure (For personal/private use and/or accessory to the principal use of the lot)	C	C	C	P	P	P	C						Section 17.401.01(A)	
Permanent use of Storage/Shipping containers as an accessory structure				C	P	P	C	P	P	P	P	P	Section 17.401.01	
Concrete and/or Blacktop Mix Plant, processing, stockpiling, and recycling of road building materials					C	C					C	C	Section 17.204.61	
Garage, Yard, and Estate Sales	P	P	P	P	P	P	P						Section 17.204.55	

Section 17.204.61 CONCRETE AND/OR BLACKTOP MIX PLANT, PROCESSING, STOCKPILING, AND RECYCLING OF ROAD BUILDING MATERIALS

- A. The proposed plant is strongly advised to be located within an existing permitted nonmetallic mine where there are currently no violations.
- B. The proposed plant shall not be located within 100 feet of a residence (unless it is the owner or operator's residence).
- C. Hours of operation shall be limited to Monday through Friday 7 am-7 pm (unless otherwise specified by the BOA).
- D. The proposed plant permit shall be valid for a maximum of 2 years (unless otherwise specified by the BOA).
- E. No portion of the batch plant or its operation shall be located on a public or private street.
- F. The proposed plant shall be operated in a manner that eliminates unnecessary dust, noise, and odor.
- G. The site must be clear of all equipment, material and debris upon completion of the project or upon expiration of the permit, whichever comes first.

Section 17.204.61 Responses

- A. The proposed site is located in an existing non-metallic mine and there are currently no violations.**
- B. Per Site Plan and Aerial images:** There are no residence withing 100-feet of the project area.
- C. Per application Materials:** Requested hours are from 6am–7pm Monday through Friday AND 6am - 3pm Saturday
- D. Per application Materials:** Applying for CUP from June 1st, 2026 to November 20th, 2027
- E. Per Site Plan:** No portion of plant will be located on a public or private street.
- F. Per application materials:** Travel routes will be treated with chloride to suppress dust. A neutralizer is added to the asphalt cement to eliminate odor.

- G. **Per application Materials:** Debris and equipment will be removed from project site by 11/20/2027 (permit expiration).

Chapter 17.803

Conditional Use Permits

Section 17.803.01 PURPOSE AND AUTHORITY

- A. **Purpose.** Certain uses are of such a nature, or their effects are as dependent upon specific circumstances as to make impractical the determination in advance of where and when and under what conditions they should be permitted. Provision has been made in this chapter for the determination of such uses as conditional uses. Conditional uses are land uses listed as such in [Table 3](#) Uses Permitted by District. They may be established in such district only upon approval by the Board of Adjustment.

The procedures and standards in this Chapter are intended to provide a consistent and uniform method for review of conditional use permit proposals. These review procedures and standards are intended to accomplish the following purposes:

1. Ensure full compliance with the standards contained in this ordinance and other applicable local ordinances, and state and federal laws.
2. Achieve efficient use of the land.
3. Prevent adverse impact on adjoining or nearby properties.
4. Protect natural resources.
5. Facilitate development in accordance with the County's land use objectives per the Comprehensive Plan.

Section 17.803.02 APPLICATION PROCEDURES

- I. **Board of Adjustment Determination.** The Board of Adjustment shall review the application for conditional use, together with the previous meetings' findings and reports and recommendations from the Zoning Administrator, public safety officials, and other reviewing agencies. The Board of Adjustment shall then make a determination on the conditional use application, as set forth in Section [17.803.03](#) and based on the Substantial Evidence, other requirements and standards of this ordinance. The Board of Adjustment may approve, approve with conditions, or deny a conditional use request as follows:
1. **Approval.** Upon determination by the Board of Adjustment that the final plan for conditional use is in compliance with the standards and requirements of this ordinance and other applicable ordinances and laws, approval shall be granted.
 2. **Approval with Conditions.** The Board of Adjustment may impose reasonable conditions with the approval of a conditional use proposal, to the extent authorized by law. Conditions imposed shall meet all of the following requirements:
 - a. Conditions must be to the extent of practical and measurable
 - b. Conditions shall be designed to protect natural resources, the health, safety, and welfare and the social and economic well-being of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.
 - c. Conditions shall be related to the valid exercise of the police power and purposes which are affected by the proposed use or activity.
 - d. Conditions shall be necessary to meet the intent and purpose of this ordinance, related to the standards established in this ordinance for the land use or activity under consideration, and necessary to insure compliance with those standards. These conditions may include, but are not limited to the following:
 - 1) Permit duration, transfer or renewal
 - 2) Setback and yard dimensions.
 - 3) Specified sewage disposal and water supply facilities.
 - 4) Landscaping and planting screens.
 - 5) Operational controls.

- 6) Sureties.
 - 7) Deed restrictions.
 - 8) Location of structures, docks, piers or signs.
 - 9) Location and amount of parking facilities.
 - 10) Type of construction.
 - 11) The obtaining of other permits required by the state or federal government agencies, and other county requirements based upon other ordinances as conditions that must be met before issuance of such permit.
3. **Denial.** Upon determination by the Board of Adjustment that a conditional use proposal does not comply with the spirit or intent or standards and regulations set forth in this ordinance, or would constitute a nuisance by reason of noise, dust, smoke, odor, or other similar factors, or otherwise would be injurious to the public health, safety, welfare, and orderly development of the county, the conditional use proposal shall be denied.

Section 17.803.03 BASIS OF DETERMINATION
--

- A. **Conformance with Requirements.** The applicant shall be required to establish by clear and convincing evidence that the applicable standards of this Chapter, the specific standards pertinent to each conditional use, including site plan review criteria set forth for applicable site development standards for specific uses set forth elsewhere in this Chapter (refer to Chapter [17.204](#), Development Standards for Specific Uses) have been met.
- B. **General Standards.** The Board of Adjustment shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards:
1. **Compatibility with Adjacent Uses.** The proposed conditional use shall be designed, constructed, operated and maintained to be compatible with uses on surrounding land. The site design shall minimize the impact of site activity on surrounding properties. In determining whether this requirement has been met, consideration shall be given to:
 - a. The location and screening of vehicular circulation and parking areas in relation to surrounding development.
 - b. The location and screening of outdoor storage, outdoor activity or work areas, and mechanical equipment in relation to surrounding development.
 - c. The hours of operation of the proposed use. Approval of a conditional use may be conditioned upon operation within specified hours considered appropriate to ensure minimal impact on surrounding uses.
 - d. The bulk, placement, and materials of construction of the proposed use in relation to surrounding uses.
 2. **Comprehensive Plan.** The proposed conditional use will be harmonious with and in accordance with the general objectives or with any specific objective of the town and county comprehensive plan.
 3. **Compliance with Applicable Regulations.** The proposed conditional use shall be in compliance with all applicable federal, state, and local laws and ordinances.
 4. **Use of Adjacent Property.** The proposed conditional use shall not interfere with the use and enjoyment of adjacent property.
 5. **Public Services.** The proposed conditional use will be served adequately by essential public facilities and services including but not necessarily limited to utilities, highways, streets, police and fire protection, drainage structures, refuse disposal, and school(s); unless the project proposal contains an acceptable plan for providing necessary services or evidence that such services will be available by the time the conditional use is completed.
 6. **Impact of Traffic.** The location of the proposed conditional use shall, within the zoning district, minimize the impact of traffic generated by the proposed use. In determining whether this requirement has been met, consideration shall be given to the following:
 - a. Proximity and access to major thoroughfares.
 - b. Estimated traffic generated by the proposed use.
 - c. Proximity and relation to intersections.
 - d. Adequacy of driver sight distances.
 - e. Location of and access to off-street parking.
 - f. Required vehicular turning movements.
 - g. Provision of pedestrian traffic (if applicable).

7. Enhancement of Surrounding Environment. The proposed conditional use shall provide the maximum feasible enhancement of the surrounding environment and shall not unreasonably interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value. In determining whether this requirement has been met, consideration shall be given to:
 - a. The provision of landscaping and other site amenities. Provision of additional landscaping over and above the specific requirements of this Ordinance may be required as a condition of approval of a conditional use.
 - b. The bulk, placement, and materials of construction of proposed structures in relation to surrounding uses.
8. Impact on Public Health, Safety, and Welfare. The proposed conditional use shall not involve any activities, processes, materials, equipment, or conditions of operation, and shall not be located or designed in a manner that is detrimental to public health, safety, and welfare. In determining whether this requirement has been met, consideration shall be given to the production of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, and environmental impact.
9. Isolation of Existing Uses. The location of the proposed conditional use shall not result in a small residential area being substantially surrounded by non-residential development, and further, the location of the proposed conditional use shall not result in a small non-residential area being substantially surrounded by incompatible uses.
10. Substantial Evidence. Substantial evidence means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions.

RECOMMENDATIONS FOR THE CUP

If granted, the CUP should consider including the following conditions:

- Shall adhere to Section to Section 17.407.01 “General Performance Standards” of the General Code of Ordinances for Marathon County Chapter 17- Zoning Code. Including but not limited to:
 - **Vibrations.** No use shall cause earth vibrations or concussions detectable without the aid of instruments beyond its lot lines with the exception of vibration produced as a result of construction or demolition operations.
 - 1. Nonmetallic mining operations shall be regulated by the State of Wisconsin, Department of Safety and Professional Services, Chapter SPS 307.
 - **Dust, Fumes, Vapors and Gases.**
 - The emission of dust, dirt, fly ash, fumes, vapors or gases which can cause any damage to human health, animals, vegetation, or property, or which can cause any soiling or staining of persons or property at any point beyond the lot line of the use creating the emission, is prohibited.
 - **Heat.**
 - No use shall produce heat detectable without the aid of instruments beyond its lot lines.
 - **Glare.**
 - No use shall produce a strong, intense light or a reflection thereof beyond its lot lines.
- Hours of Operation
 - 6:00am- 7:00pm (Monday-Friday)
 - 6:00am- 3:00pm (Saturday)
 - No operation on Sundays
- Dust and Odor
 - Travel routes to be treated with chloride to suppress dust
 - A neutralizer to be added to asphalt cement to eliminate odor
- Permit Expiration
 - CUP valid from June 1st, 2026 to November 20th, 2027
 - Debris and equipment removed from project site by November 20th, 2027

TOWN RECOMMENDATION:

The **Town of Eau Pleine** Town Board Recommends **Approval** to Marathon County's Board of Adjustment.

TO THE MARATHON COUNTY BOARD OF ADJUSTMENT

I, Heather Kops, Clerk of the Town of Eau Pleine Marathon County, State of Wisconsin, do hereby certify that the following is a true and correct copy of a resolution adopted by the Town of Eau Pleine Town Board at a meeting held on the 10 day of March, 2026.

RESOLUTION

WHEREAS, the Marathon County Board of Adjustment is established for the purpose of hearing certain appeals, applications and granting variances in harmony with the general purpose and intent of land use regulations, and

WHEREAS, such a hearing is scheduled to come before the Board affecting lands within the Town of Eau Pleine.

NOW, THEREFORE BE IT RESOLVED that the Town of Eau Pleine Town Board considered on the 10 day of March, 2026, the application of: American Asphalt of WI on behalf of Mathy Construction Company (Milestone Materials) for a conditional use permit per section 17.204.61 of the General Code of Ordinances for Marathon County Chapter 17 Zoning code for the purposes of operating a concrete and/or blacktop mix plant, processing, stockpiling, and recycling of road building materials in the F-P (Farmland Preservation) zoning district. The property is located in the Northeast ¼ of the Northwest Fractional ¼ of Section 3, Township 27 North, Range 3 East, Town of Eau Pleine, further described as PIN# 020.2703.032.0999. Property Address: 114445 County Road P, Stratford, WI 54484.

, and hereby recommends:

- Marathon County Board of Adjustment **APPROVE** application
- Marathon County Board of Adjustment **DENY** application

Comments, conditions and reasons for recommended action:

Clerk Heather Kops
 Town Board Mark Gader
Kit Schwager
R. P. ...

THE STAFF RESERVE THE RIGHT TO AMEND THIS REPORT BASED ON NEW EVIDENCE PRESENTED PRIOR TO AND/OR DURING THE PUBLIC HEARING.

DECISIONS OF THE BOARD ARE SUBJECT TO APPEAL AS PROVIDED IN SS.59.694(10) WIS. STATS.

RESPECTFULLY SUBMITTED:

Heather Kops

SIGNATURE

04/03/2026

DATE